



Planning Commission Regular Meeting

Tuesday, February 17, 2026, 5:30 PM

Town Hall Council Chambers

150 Ski Hill Road

Breckenridge, Colorado

The indicated times are intended only to be used as guides. The order of projects, as well as the length of the discussion for each project, is at the discretion of the Commission. We advise you to be present at the beginning of the meeting regardless of the estimated times. For further information, please contact the Planning Department at 970-547-3160.

I. CALL TO ORDER, ROLL CALL (5:30PM)

- A. LOCATION MAP
- B. APPROVAL OF MINUTES
- C. APPROVAL OF AGENDA

II. PUBLIC COMMENT ON HISTORIC PRESERVATION ISSUES (NON-AGENDA ITEMS ONLY; 3-MINUTE LIMIT PLEASE) (5:35PM)

III. PRELIMINARY HEARINGS (5:40PM)

- A. STOUFFER HOUSE RESTORATION, LANDMARKING, AND ADDITION (CC) 110 S HARRIS ST., PL-2025-0355

IV. OTHER MATTERS (6:15PM)

- A. TOWN COUNCIL SUMMARY

V. ADJOURNMENT (6:30PM)



PLANNING COMMISSION MEETING

The regular meeting was called to order at 5:30 pm by Chair Propper.

ROLL CALL

Mike Giller	Mark Leas	Allen Frechter remote	Matt Smith
Ethan Guerra remote	Elaine Gort	Susan Propper	

APPROVAL OF MINUTES

With no changes, the January 20, 2026 Planning Commission Minutes were approved.

APPROVAL OF AGENDA

With no changes, the February 3, 2026 Planning Commission Agenda was approved.

PUBLIC COMMENT ON HISTORIC PRESERVATION ISSUES:

- No Comments

CONSENT CALENDAR:

1. Hinchey Residence Addition (SVC), 163 Tomahawk Lane, PL-2026-0003

With no call-ups, the Consent Calendar was approved as presented.

OTHER MATTERS:

1. Town Council Summary

ADJOURNMENT:

The meeting was adjourned at 5:49 pm.

Susan Propper, Chair

Planning Commission Staff Report

Subject: Stouffer Residence Landmarking, Restoration, and Addition
(Class A Major Development Permit, Preliminary Hearing; PL-2025-0355)

Proposal: A proposal to locally landmark and rehabilitate an existing historic primary residence, demolition of the non-historic saltbox addition, and a new addition in the rear of the lot. The project proposes 3,668 sq. ft. of total density which includes three (3) bedrooms, five (5) bathrooms, an office, an accessory dwelling unit (430 sq. ft.), and a two-car garage (500 sq. ft.). The historic barn will also be fully rehabilitated. The project includes (1) one gas fireplace and 489 sq. ft. of heated paving and walkways.

Date: February 12, 2026 (For meeting of February 17, 2026)

Project Manager: Clif Cross, Planner II

Applicant/Owner: Merrick and Lauren Crispell

Agent: J.L. Sutterley, Architect

Address: 110 South Harris Street

Legal Description: Lot 6, Block 7, Yingling & Mickles Addition Subdivision

Site Area: 0.14 acres (6,249 sq. ft.)

Land Use District: 17, Residential: 11 UPA

Historic District: 1- East Side Residential Character Area; 9 UPA above ground, 11 UPA maximum density

Site Conditions: The lot has an existing historic home constructed in 1898. A nonconforming addition was added in 1977 creating 1,681 sq. ft. of existing total density. A historic barn totaling 330 sq. ft. is also on the lot. The property is currently accessed from Harris Street right-of-way or Harris Street Alley, with all existing parking spaces located in the front of the parcel off Harris Street. The lot has a few mature trees of different species. The lot is encumbered by a restricted parcel solar easement to the benefit of the neighboring lot to the north, 108 South Harris Street, on the north side of the residence.

Adjacent Uses:

North:	Single-family home
South:	Single-family home
East:	Alleyway, Single-family home beyond
West:	Summit County Library – South Branch, Community Center

Density:

Total Allowed under LUGs, 11 UPA:	2,525 sq. ft.
Proposed Total Density:	3,668 sq. ft.
Proposed Livable Density:	3,168 sq. ft.
(Excluding 500 sq. ft. Garage per 9-1-19-3A(H)(3))	3,168 sq. ft.

	(Excluding 785 sq. ft. Landmarked):	2,383 sq. ft.
	Total Recognized Density:	2,383 sq. ft.
Above Ground Density:	Allowed at 9 UPA:	2,066 sq. ft.
	Total Recognized Above Ground Density:	2,033 sq. ft.
Actual Density:	Lower Level: (incl. 785 sq. ft. Landmarked):	1,135 sq. ft.
	Main Level (excluding 32 sq. ft. stair hall):	1,106 sq. ft.
	Upper Level:	270 sq. ft.
	Garage:	500 sq. ft.
	Garage, Upper Level:	325 sq. ft.
	Historic Barn	332 sq. ft.
	Total:	3,668 sq. ft.
Height:	Recommended:	23' 0" (mean);
	Proposed (New Gable):	21' 6" (mean); 25' (overall)
Lot Coverage:	Building / non-Permeable:	2,139 sq. ft. (34.2% of site)
	Hard Surface / non-Permeable:	489 sq. ft. (7.8% of site)
	Total Lot Coverage:	2,628 sq. ft. (42% of site)
	Open Space / Permeable Area:	3,621 sq. ft. (58% of site)
Parking:	Required:	3 spaces
	Proposed:	3 spaces
Snowstack:	Required:	N/A*
	Proposed:	N/A
	*Per 9-1-19-13R , staff finds the property is exempt from the twenty five percent (25%) functional snow storage area requirement due to the proposed snowmelt system.	
Setbacks:	Front (15' recommended): (Proposed)	36' 8"
	Sides (5' recommended, 3' absolute): (Existing)	9'
	(Proposed)	3'
	Rear (15' recommended 5' absolute): (Proposed)	5'

Setbacks referenced are for the residential structure and new additions. The historic barn currently exceeds the north side setbacks and encroaches beyond the east property boundary into the right-of-way by approximately two feet, but it is proposed to be maintained in its existing historic location.

Item History

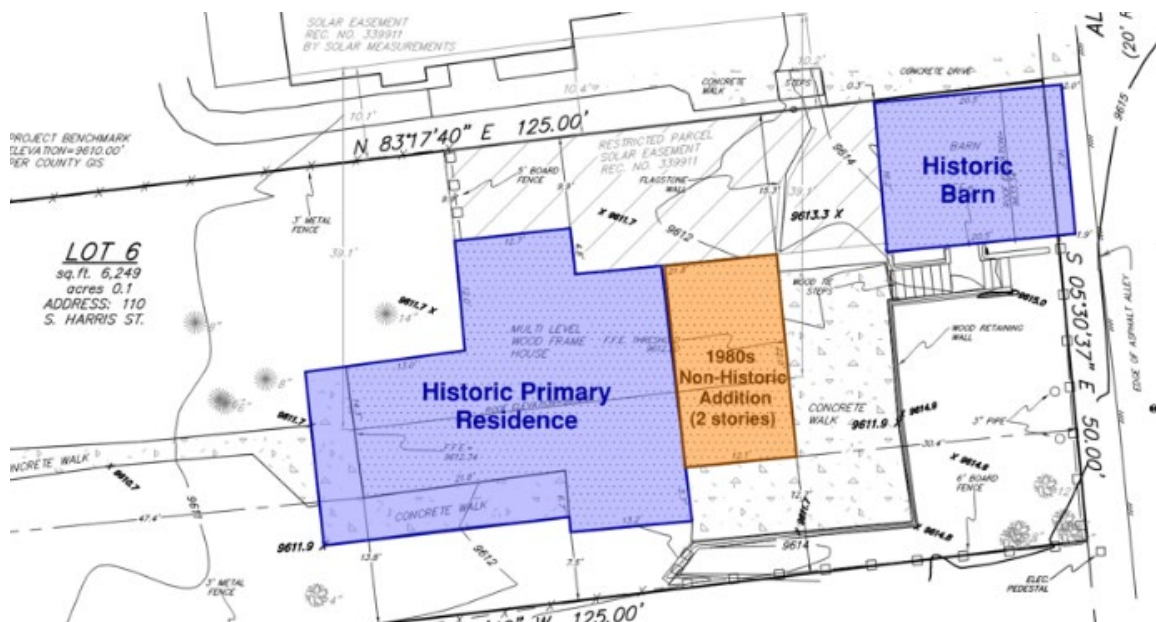


Historical Background:

The Stouffer House, a 1½-story front-gabled house, also historically known as the Davenport House, was constructed for Edith Stouffer during the summer of 1898. An August 27, 1898 edition of the Summit County Journal announced: “*A neat cottage is being erected by Mrs. Stouffer on the lot adjoining the Joe Bernatchie Residence.*” Her husband W.E. Stouffer operated a grocery and bakery downtown and was an owner/partner with Joe Bernatchie in the Dunkin mine in Illinois Gulch. He also held interests in the Wire Patch Placer and was appointed Breckenridge postmaster in May of 1902. W.E. Stouffer passed away in 1932. The house later became home to the W.L. Davenport family. Wyatt Leroy “Dave” Davenport came to Breckenridge as a young boy from Sivells Bend, Texas. Dave Davenport is best known for developing the Wellington Mine in French Gulch into one of Breckenridge’s largest and longest-operating producers of precious metals, which finally shut down in the early 1970s.

Statement of Significance:

Built in 1898, this property is historically significant for its association with Breckenridge’s residential development during the late 19th century. It is also architecturally notable for its Late Victorian characteristics, including its gabled-L plan, bracketed turned porch columns, and vergeboard in the façade’s upper gable end. A historic barn to the northeast of the dwelling also contributes to the overall historic setting. The Stouffer House remains a contributing resource within the Breckenridge Historic District, retaining a high degree of integrity in location, setting, design, materials, workmanship, feeling, and association. While the property does not meet the criteria for individual listing in the National Register of Historic Places or the State Register of Historic Properties, it does qualify as a contributing resource within the Breckenridge Historic District and is eligible for local landmark designation. The historic primary structure, 1970s addition, and historic barn are found in the below configuration on the site.



The Planning Commission held a work session on December 2, 2025 to review the proposed rehabilitation and redevelopment of the historic Stouffer House. The applicant proposed preliminary designs to restore and locally landmark the 1898 residence, remove a non-historic 1977 addition, and construct a new rear addition with an accessory dwelling unit and a garage with an office above. The Commission’s discussion focused on two key issues: whether the proposed low-pitched “transition” roof between the historic structure and new addition complies with historic design standards and whether the office above the garage qualifies as a bedroom, which would trigger additional parking requirements. Commissioners generally agreed that the revised roof design improves historic compatibility by removing the unsympathetic 1970s addition and that the garage office does not meet the definition of a bedroom under the Development Code, provided conditions prevent its conversion into a sleeping space.

Staff Comments

The applicant proposes to remove the existing 1970s non-historic two-story saltbox addition on the rear of the structure and build a Handbook compliant addition in a similar location that is connected to the historic massing. The project proposes rehabilitating the existing primary and secondary structure (Barn) on the site with foundation work, preservation of historic materials, and additional rehabilitation efforts. The scope of work for the primary structure includes the request to Locally Landmark the structure with the construction of a basement floor area which includes a bedroom, bathroom, and flex space for the property owners and a deed restricted ADU accessed from a separate entrance. The project proposes one new bedroom, two new bathrooms, and a detached 2-car garage with an office above. At this preliminary hearing, staff will address the key policies and concerns related to the project proposal and identify any concerns of the Commission.

Land Use (2/A & 2/R): This property is located within Land Use District 17. This is a residential district that allows a maximum of 11 Units Per Acre. The property is proposed to be used as a single-family residence. The applicant is also proposing a deed restricted accessory dwelling unit (ADU) on the lower level of the primary residence. Staff has no concerns with the proposed residential land use.

Density (3A & 3R): This project is proposing 2,383 sq. ft. of total recognized density (excluding 500 sq. ft. of garage density, and 785 sq. ft. of landmarked exempt basement density), which is below the allowed 2,525 sq. ft. (11 UPA). As a property within the Historic District, staff finds the property is eligible for a garage density exemption as outlined

by [9-1-19-3A\(H\)\(3\)](#). As mentioned above, the proposed 500 sq. ft. of density for the garage has been removed from the density calculation. Additionally, staff finds the property shall be designated as a local town landmark, per 9-1-19-3A(C)(2), and the density located underground of the historic footprint of the landmarked building shall not be counted toward the allowed density on the site.

A total of 2,033 sq. ft. (8.86 UPA) of above ground density is proposed, which is below the recommended 2,066 sq. ft. (9 UPA). Staff finds the proposed total density and proposed above ground density are compliant with Policy 3A/R standards. Staff has no concerns.

Building Height (6/A & 6/R) and Perceived Scale: Building height for structures within Character Area 1 are reviewed under Policy 6 in the Development Code.

Policy 6/R states “In land use districts 11, 17 ..., a maximum height of twenty-three feet (23') is strongly encouraged.”

The tallest portion of this proposal measures 21' 6” to the mean of the roof on the proposed detached garage located at the rear of the lot, behind the historic primary structure’s façade. The height is well below the recommended mean. Staff has no concerns.

Site and Environmental Design (7/R): The project will remove all existing site improvements, including front-yard parking and landscaping, to accommodate a rear addition and a two-car detached garage with associated paving and circulation (approx. 418 sq. ft.). While most of the site will be disturbed for construction and drainage improvements, the historic front yard remains open space, and staff finds the revised layout visually harmonious and consistent with Policy 7/R.

Placement Of Structures (9/A & 9/R): The existing primary historic structure is proposed to be relocated 4' 11” towards the western property line with a setback of 36' 8” which meets the 15' minimum relative front setback. The primary residence will be compliant with all relative setbacks (see below):

	Policy 9: Relative Required Setbacks	Policy 9: Absolute Required Setbacks	Proposed Setbacks
Front Setback	15'	10'	36' 8”
Side Setback	5'	3'	3'
	5'	3'	3'
Rear Setback	15'	5' (alley)	5'

The proposed detached garage is located at the minimum required setback for the rear alley setback (5') and southern side (3') setback with the roof eaves projecting up to an additional 18” into the required setbacks without penalty per [9-1-19-9A\(C\)\(1\)\(d\)](#). The detached structure is otherwise complaint with the front and northern side setback. Due to not meeting two of the relative setbacks, staff has assigned negative six (-6) points per [9-1-19-9R\(D\)\(1\)](#).

Parking (18/R): With the home’s bedroom count increased to four bedrooms (including the ADU), three parking spaces are required on site. The design proposes three spaces in total, two in the proposed garage and one exterior space on the northern side of the garage. The Handbook of Design Standards addresses parking in the East Side Residential Character in Design Standards 116 and 17.

Design Standard 116: *Minimize the visual impact of parking as seen from the street.*

Staff finds this proposal meets Design Standard 116 because the parking is proposed to be relocated to the rear of the historic primary structure from the existing parking along the front property line.

Design Standard 117: Develop parking such that the front edge of the site is retained as a yard.

The property currently has parking on the western property boundary within the front yard area. The applicant proposes to relocate all required parking to the rear of the site and only access from the Harris Street Alley. This will increase the perceived front yard area of the property and return the edge of the Harris Street right-of-way to parallel parking controlled by the Town. Additionally, this change will match the existing conditions of the adjacent portions of the street. As outlined in the Handbook of Design Standards and [Policy 18R, Section A\(1\)](#), staff recommends the project be rewarded for the relocation of the parking to the rear of the site and out of sight from public view. Staff recommends two positive (+2) points for the parking proposed out of sight from public view. Does the Commission concur?

Precedent for positive two (+2) points for the placement and screening of all off street parking areas from public view includes the following projects:

1. King House Relocation, Addition, Restoration, Garage, Accessory Apartment and Local Landmarking. PL-2019-0034. Placement and screening of all off street parking areas from public view.
2. Hilliard House Restoration, Addition and Landmarking. PL-2017-0297. For screening parking from public view.
3. The Old Enyeart Place Renovation, Addition, and Landmarking. PL-2015-0361. Relocated parking off the alley behind the residence.

Plant Material & Landscaping (22/A & 22/R): Rehabilitation activities associated with moving the primary structure will result in the loss of all existing landscaping due to site disturbance. To mitigate these impacts, the applicant proposes the installation of two native Engelmann Spruce ranging from 6 to 8 feet in height and seven Aspen trees at 2-inch caliper (50% multi-stem). Most plantings will be located within the front yard area, with only one Aspen proposed toward the rear of the property. The landscape plan also includes five 5-gallon shrubs within the front yard lawn area.

In addition to compliance with Policy 22/R, the landscape plan is evaluated under the Handbook of Design Standards.

The applicant is proposing an estimated 2,300 sq. ft. of irrigated sod area in the front lawn. Per [9-1-19-22R\(C\)](#):

Negative points shall be assessed against an application according to the following point schedule:

*-2: Proposals that provide no public benefit. Examples include: providing no landscaping to create screening from adjacent properties and public rights-of-way; **the use of large areas of sod or other nonnative grasses or perennials that require irrigation and exceed 500 square feet in area;** the use of excessive amounts of exotic landscape species; and the removal of specimen trees that could be avoided with an alternative design layout. (emphasis added)*

Staff notes that the proposed landscape plan includes approximately 2,300 square feet of sod, which is a significant area. At this time, the applicant has not provided details regarding the type of sod or whether the installation will require permanent irrigation. This information is necessary to determine if the proposal warrants negative points under the applicable code, which identifies large areas of sod and irrigation as examples of providing no public benefit. Staff requests clarification from the applicant on these items before completing the point analysis.

In addition to Policy 22/R, landscape design is reviewed in the Handbook of Design Standards.

Design Standard 102: Use modest landscape schemes that emphasize native plant materials.

- **Using cottonwood trees along the street edge is encouraged.**
- *Planting evergreen trees, of substantial scale, is strongly encouraged in front and side yards.*
- *Reserve the use of exotic plants for small areas of accent.*

Design Standard 131: Use evergreen trees in front yards where feasible.

- *When initially installing trees, begin with a tree, or cluster of trees, that is large enough in scale to have an immediate visual impact.*

Design Standard 132: Reinforce the alignment of street trees along property lines.

- **Planting new cottonwood trees along street edges is encouraged.**

Design Standard 133: Use landscaping to mitigate undesirable visual impacts.

- *Use large trees to reduce the perceived scale where larger building masses would abruptly contrast with the historic scale of the area.*
- *Include hedges and other masses of lower scale-scale plantings to screen service areas.*

Staff finds that the proposed landscaping provides appropriate screening and is generally consistent with the applicable policies and standards of the Handbook of Design Standards. The applicant is concentrating the majority of plantings within the front yard area due to the limited area and programming constraints to the rear of the site. Defensible space objectives are met, provided that proposed shrubs are fire-wise species. Per Design Standard 102 and 132, cottonwood plantings along the street edge are required to comply. Staff recommends negative three (-3) points for failing Design Standards 132 requiring new cottonwood trees. Additionally, staff is requesting additional information about the proposed use of fire-wise shrubs to confirm whether the landscape plan fully complies with defensible space standards.

Social Community (24/A and 24/R):

Project review under The Handbook of Design Standards for the Historic and Conservation Districts is conducted in accordance with Policy 24. Each applicable standard is identified and outlined below:

Historic Preservation: The applicant proposes to restore, rehabilitate and stabilize the primary structure by building a full basement beneath the 1898 portion of the historic primary residence and new addition. The applicant also proposes preservation of the historic barn on the site. The applicant proposes to remove the nonconforming 1970s two-story saltbox addition on the rear of the primary structure. The structure’s electrical, plumbing, and mechanical systems will all be updated. The scope of the work as provided by the applicant is as follows:

Historic Primary Residence:	Historic Barn:
• Remove non-historic non-compliant upper level and roof addition: This eliminates quite a bit of existing upper-level density and mass and a massive roof incorrectly attached directly to the original historic structure.	• Full stabilization of historic structure, per structural design.

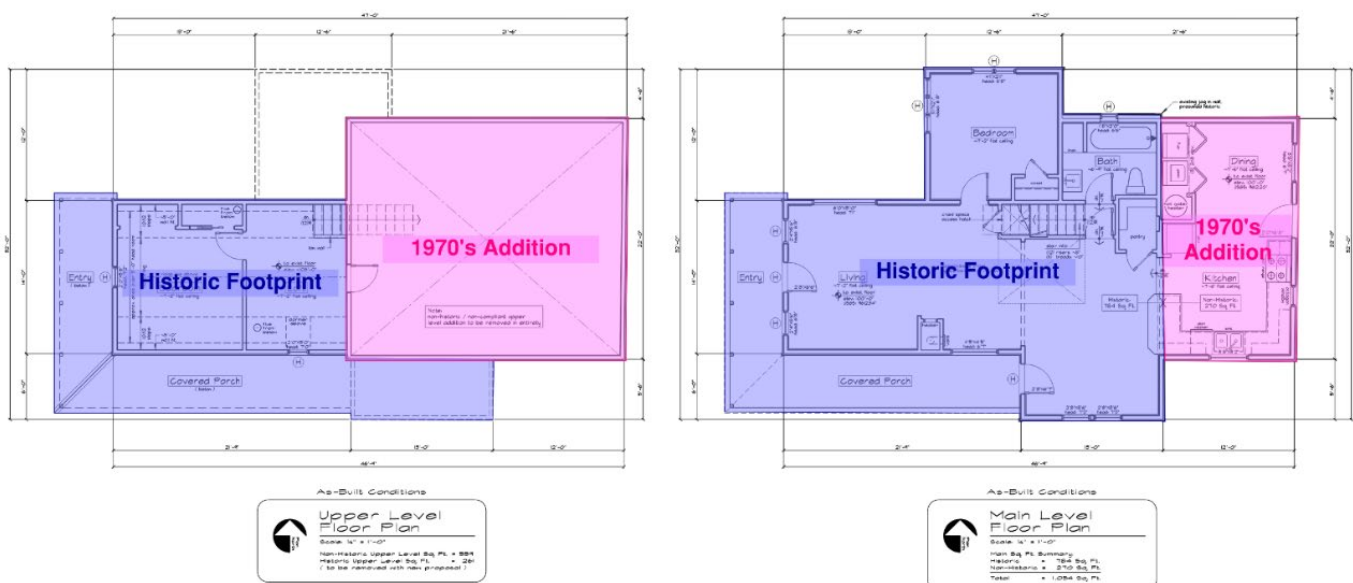
- Fully gut the remaining historic structure to the original framing and stabilize as necessary, per structural design. Review all historic framing conditions (openings, etc.)
- Retain all historic fabric
- House to be moved 4'11" to the east and raised 8" to accommodate full basement foundation construction.
- New structural stabilization, new mechanical and electrical systems, and full insulation.
- Restoration of historic windows and historic openings, historic trim details
- Restore porch elements and remove non historic fascia bric-a-brac
- New historically compliant wood siding
- New roofs

- Barn to be temporarily moved or raised (TBD) to accommodate foundation frost walls and slab on grade
- Review all historic framing conditions (openings, etc.)
- Retain historic fabric per drawings
- Replace south wall siding (cannot be salvaged) with mixed width rough sawn vertical siding to blend with the existing historic siding
- Restore all historic openings and siding

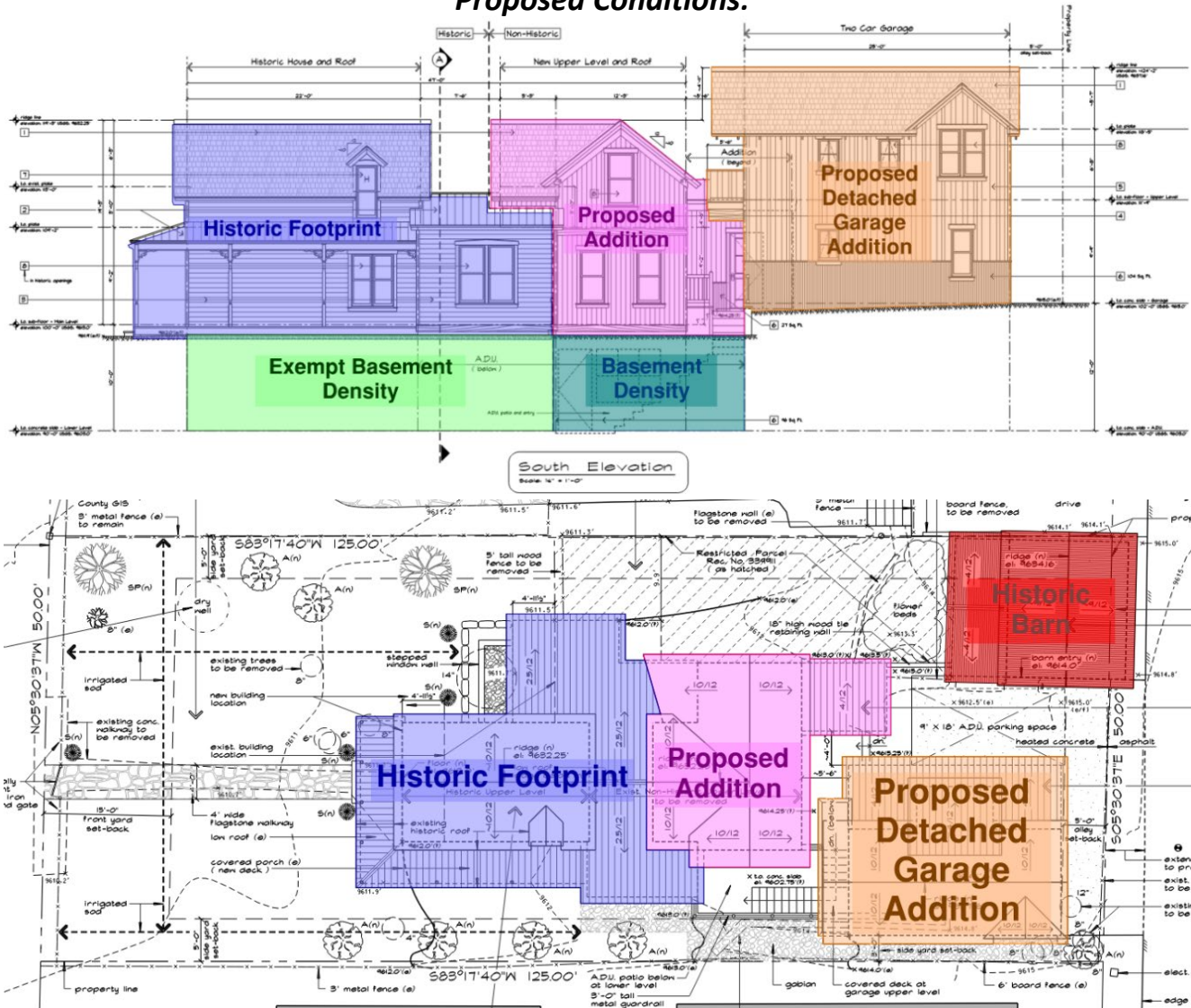
The applicant proposes to relocate the historic primary structure 4'11" to the west from the original location. Moving the structure west from the center of the lot allows for area to relocate the parking to the rear and create space for additional programming desired of a modern residence. Staff finds this proposal is subject to the assignment of points under [Policy 24, section G](#). Staff finds the proposal warrants the assignment of negative ten (-10) points for the relocation of a historic primary structures less than 5 feet from its current or original location, keeping the structure on its original site, and maintaining the historic orientation and context of the structure and lot.

The images below outline the approximate location of the existing conditions and the proposed conditions.

As Built Conditions:



Proposed Conditions:



Under Policy 24R, the scope of work for the primary structure qualifies as a “*Onsite historic preservation/restoration effort of average public benefit*” and may be eligible for positive three (+3) points. Staff recommends positive three (+3) points due to the proposed moving of the historic primary structure as outlined by [9-1-19-24R\(1\)](#).

+3: On site historic preservation/restoration effort of average public benefit.

Examples: Restoration of historic window and door openings, preservation of historic roof materials, siding, windows, doors and architectural details, plus structural stabilization and installation of a new foundation.

+6: On site historic preservation/restoration effort of above average public benefit.

*Examples: Restoration/preservation efforts for windows, doors, roofs, siding, foundation, architectural details, substantial permanent electrical, plumbing, and/or mechanical system upgrades, plus structural stabilization and installation of a full foundation which fall short of bringing the historic structure or site back to its appearance at a particular moment in time within the town's period of significance by reproducing a pure style. **Projects that involve moving historic primary structures are not eligible for this +6 point assignment. (emphasis added)***

Precedent for positive three (+3) points for historic preservation includes the following projects that provided on-site historic preservation of average public benefit:

1. Evans McLean Residence Landmarking, Restoration, and Garage Addition, PL-2022-0532. The applicant landmarked and rehabilitated an 1886 primary residence with free basement density and new concrete foundation.
2. King House Relocation, Addition, Restoration, Garage, Accessory Apartment and Local Landmarking, PL-2019-0034. The applicant relocated the historic circa 1890 house approximately 5 feet toward the interior of the lot (east) and installed a basement and concrete foundation.
3. Levy House Restoration and Landmarking, PL-2019-0496. Relocation, addition of basement and foundation, local landmarking, interior remodel.
4. Noble House Restoration, Addition, Change of Use, and Landmarking. PL-2018-0069. The applicant landmarked and rehabilitated the primary residence (+3) but relocated the primary structure less than 5' (-3).

Does the Commission support awarding positive three (+3) points under Policy 24R for historic preservation of average public benefit of the primary structure?

Additionally, staff recommends the scope of work for the secondary structure qualifies as “onsite historic preservation/restoration effort of above average public benefit” and may be eligible for positive three (+3) points under [9-1-19-24R\(2\)](#).

+3: On site historic preservation of above average public benefit.

*Examples: Complete restoration of the structure, including structural stabilization of walls, roof trusses and repairing roof, full restoration of damaged or missing siding, doors, windows and trim, plus installation of a full foundation. **Secondary structures that encroach over a property line or easement shall be brought fully onto the applicant's property and outside of any easements or encroachments to qualify for this point allocation. (emphasis added)***

Precedent for positive three (+3) points for historic preservation includes the following projects that provided on-site historic preservation of above average public benefit:

1. Cammett House Landmarking, Addition, Restoration, and ADU. PL-2024-0064. Positive three (+3) points for on site historic preservation/restoration effort of above average public benefit for the secondary structure.
2. Casey Residence Rehabilitation and Landmarking. PL-2018-0262 & PL-2018-0492. Positive three (+3) points for on site historic preservation effort of above average public benefit for the secondary structure.

The language within the Code would limit the point assignment for the rehabilitation to the secondary structure for not being relocated entirely onto the property; however, there is precedent where three points were awarded for a historic secondary structure which remained in its historic location partially off-site. The Cammett Residence includes a historic garage which is being converted into an accessory dwelling unit. This historic secondary structure was allowed to remain in its historic location and given positive three (+3) points after Engineering confirmed it would not create any additional public benefit to move the structure further off the rear property line adjacent to a public alley. Additionally, the Casey Residence restored and stabilized two historic sheds and historic outhouse by adding foundations. The historic secondary structures straddles the property line with the neighboring Longbranch Condominiums. Town staff and Longbranch HOA coordinated to provide an encroachment license agreement for the historic structures to remain in place and awarded positive three (+3) points for historic preservation.

The Stouffer Residence property is encumbered by a solar easement that essentially prohibits the relocation of the historic barn to the west. Typically, in preservation efforts relocation of historic structures is discouraged and should be avoided when possible, which is in contradiction with this policy. The Engineering Division and Streets and Parks Division have reviewed the proposed encroachment into the Harris Street Alley and have no concerns with the structure remaining in its current location. Additionally, Planning staff notes precedent for awarding positive three (+3) points for retaining a secondary structure in its historic location rather than relocating it to resolve encroachments, as demonstrated in the Cammett and Casey House projects.

Does the Commission support awarding positive three (+3) points under Policy 24R for historic preservation of above average public benefit of the secondary structure, given the site limitations for moving the structure?

If the Commission agrees with staff's recommendation, a Condition of Approval will be added requiring the applicant to execute an Encroachment License Agreement for the portion of historic barn encroaching in the Harris Street Alley.

Size, Scale and Massing:

Priority Design Standard 37: *Additions should be compatible in size and scale with the main building.*

- *They shall be visually subordinate to the main building.*
- *They also shall be compatible with the scale of the character area.*
- *Locating density in a basement is encouraged, as a means of minimizing the mass of an addition.*
- ***If it is necessary to design additions that are taller than the main building, set them back substantially from primary character defining facades.** See also the discussion of scale in the standards for new construction.*
- *While it is preferred that additions do not go above the height of the historic home, higher building heights are allowed if designed appropriately in accordance with other policies. **Should the building height of the addition have an appropriate design to go above the height of the historic home, in no case shall the addition exceed one half story (1/2) above the historic structure,** up to a maximum of two (2) stories as measured to the mean from existing or natural grade, whichever yields the lesser height.*
- *The historic building front facade shall remain the primary front facade. The addition should be set back behind the historic building and not compromise the front facade. **(emphasis added)***

Priority Design Standard 37.5: *The location of additions should allow the historic structure to remain prominent on the site as viewed from the primary street frontage.*

- *The position of the addition sidewalls shall be aligned with at least one of the sidewall planes of the historic structure to reduce the visibility of the addition. Maintaining the alignment of both sidewall planes of the historic structure with the addition is desirable and would warrant positive one (+1) point.*

Priority Design Standard 80: *Respect the perceived building scale established by historic structures within the relevant character area.*

Priority Design Standard 81: *Build to Heights that are similar to those found historically.*

- ***This is an important standard which should be met on all projects.***
- *Primary facades should be one or two stories in height, no more, depending on the height recommended in the Town's Development Code and Character Area.*

- *Additions to historic structures shall not exceed one-half (1/2) story above the existing historic structure, up to a maximum of two (2) stories. Measurements shall be taken from the mean height of the historic structure to the mean height of the addition. For the purpose of this standard, a half story is six-feet (6'). The overall mean height of the addition may not exceed the allowed height in Policy 6 Building Height in the Development Code.*
- *Secondary structures must be subordinate in height to the primary building. (Ord. 32, Series 2010)*
- *The purpose of this standard is to help preserve the historic scale of the block and the character area.*
- *Note that the typical historic building height will vary for each character area (1 to 1-1/2 stories for the East Side character area).*

Priority Design Standard 88. Maintain the perceived width of nearby historic buildings in new construction.

- *This is an extremely important standard, which should be met.*
- *The proposed new building should appear to be similar in width with its historic context, as perceived from public ways.*

Priority Design Standard 121: Use roof forms that reflect the angle, scale, and proportion of historic buildings in the East Side residential character area.

- *Roof shapes have a significant impact on the character of this area because they can be seen from higher elevations of mountain slopes.*
- *Those styles which were popular in the 19th century and are still in use today, such as high gable, high hip, shed and gambrel, are appropriate.*
- *Roofs should have a slope similar to those used historically.*
- *Note that although many gable roofs were accented with dormers, these were used in limited numbers on an individual building.*

Priority Design Standard 122: Building height should be similar to nearby historic buildings.

- *Primary facades should be 1 or 1 and 1/2 stories tall. (Some 2-story portions may be considered if they are set back from the street.)*
- *Refer to height limits in ordinance.*
- *Note that the height limits are absolute maximums and do not imply that all buildings should reach these limits. Visually appropriate buildings are often ones which are less than the maximum height allowed by ordinance.*

Priority Design Standard 124. Reinforce typical narrow front façade widths that are typical of historic buildings in the area.

- *Projects that incorporate no more than 50 feet of lot frontage are preferred.*
- *The front façade of a building may not exceed 30 feet in width.*

The existing nonconforming rear massing of the primary residence is to be demolished, and the second level massing will be reduced to 270 sq. ft. of density. The new addition will be constructed on the rear of the historic primary structure. Staff finds the proposed break between the two roof forms of the historic primary residence and the new addition create two distinct modules. The proposed ridgeline matches the existing height of 20'6" (mean 16'9"), and staff finds the addition is less than one-half story taller and visually subordinate to the historic front module, consistent with Priority Design Standards 37 and 81.

The detached garage, with a mean roof height of approximately 22', is slightly taller than the historic structure but remains within the one-half story allowance and is substantially set back at the rear of the lot. Landscaping will further obscure views, and the historic front façade remains the dominant visual element, meeting Priority Design Standards 37, 81, and 122. The garage's total density of 825 sq. ft. is below the East Side Residential guideline of one additional module of average size (1,500 sq. ft.), satisfying Priority Design Standard 80.

The addition's sidewalls are set in from the historic structure, preserving its prominence from the street conforming with Priority Design Standard 37.5. No substantial changes affect the front façade width, and total frontage remains approximately 38'8", well under the 50' maximum recommended by Priority Design Standard 124. Staff has no concerns regarding Priority Design Standard 88.

Roof forms are simple and historically appropriate, consistent with Priority Design Standard 121. The Commission previously agreed that the revised roof design improves compatibility with the East Side Residential Character Area.

Staff finds the proposed addition and detached garage comply with Priority Design Standards 37, 81, 80, 121, 122, 88, and 124, as well as Policy 6/R for building height. The design maintains the prominence of the historic front façade, respects the scale and character of the East Side Residential Character Area, and meets the intent of the Handbook of Design Standards.

Windows and Glazing: The property previously replaced windows, potentially during the 1970s addition, with nonconforming windows. These windows are not of similar style to those used historically and will be replaced by more historically accurate forms through this project. As noted in the rehabilitation scope above, all of the historic primary structure's windows and other historic openings are to be restored. The applicant also proposes restoring all historic windows and other openings in the historic barn secondary structure as well.

Priority Design Standard 95: *The proportions of window and door openings should be similar to historic buildings in the area.*

- *This is an important design standard.*
- *These details strongly influence the compatibility of a building within its context.*
- *Large expanses of glass, either vertical or horizontal, are generally inappropriate on commercial or residential buildings. Oversized doors that would create a "grand entry" are also inappropriate.*
- *Smaller windows with simple window frames are recommended for secondary structures. (Ord. 32, Series 2010)*

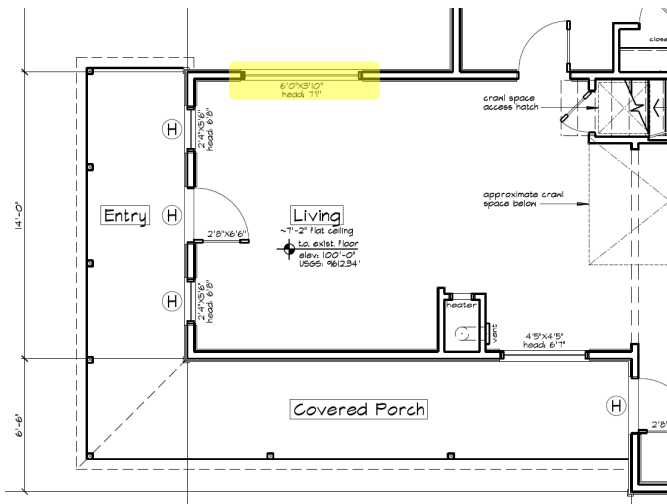
Design Standard 128: *Use building features similar in size and shape to those used traditionally.*

- *Windows should be similar in size and shape to those used historically.*
- *Doors that include glass are encouraged.*

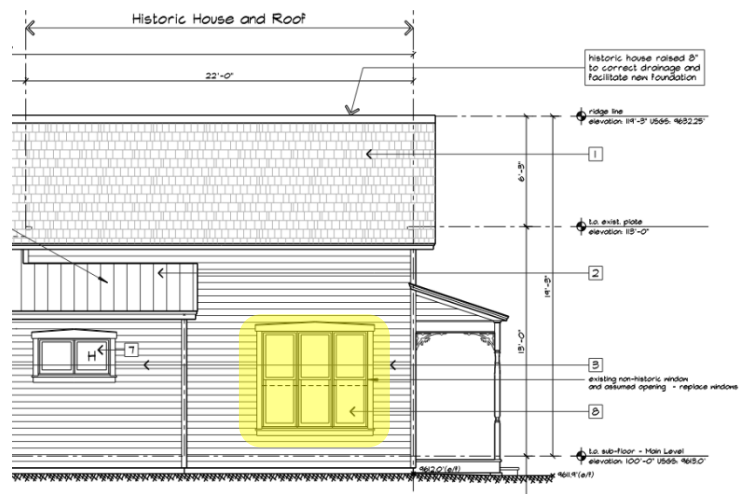
The primary structure's newly proposed windows include traditional vertically oriented double hung windows in both vertical and square four pane windows. Additionally, the smaller proposed windows in the historic secondary structure are compliant with the Design Standards above.

The applicant is proposing three window changes on the main level and one window change on the second level of the residence. Two of the windows on the main level are proposed to be restorative efforts to remove non-historic windows and replace with code-compliant windows within the existing historic openings. Additionally, one window on the north façade of the living room is proposed to be replaced but without consideration for the historic opening (see photo below). As shown in the picture on the left, the existing window opening has a dimension of 6' (W) x 3' 10" (H). The proposed

window on the elevation, shown on the right, has an estimated dimension of 6' (W) x 5' 6" (H) which could increase the window opening to a larger dimension than what existed prior to the non-historic window. Staff believes this window opening should be restored to its historic dimensions, although the historic window was previously replaced. As the proposed plans do not provide exact dimensions for the new window, staff requests the applicant submit detailed measurements of the existing opening and the proposed window opening. This will ensure that no further enlargement of the opening occurs, preventing any additional loss of historical fabric. As outlined by the Handbook of Design Standards, the loss of historic fabric warrants negative three (-3) points.



As-Built Floor Plans



Proposed Elevations

On the upper level, the applicant proposes to restore the window opening from the man door that connected the primary residence to the nonconforming addition from the 1970s. The proposed restoration of the window is in character with the historic period of the residence. Staff has no concerns.

The proposed windows appear to be similar to the other windows on the house. Staff has no concerns with a majority of the proposed windows as they relate to Design Standards 91, 95 and 96. Does the Commission have concerns about the re-established compliant window on the north façade of the living room impacting historic fabric?

Additionally, two non-historic doors are to be replaced with historically compliant wood doors within the historic openings on the main level. Staff is supportive of reestablishing these historic window and door openings and find them compliant with the design standards.

Building Materials: The siding on the historic primary residence has been maintained over the years and is generally in good shape. The applicant is proposing to restore the 4 1/2" bevel lap cedar siding and only replace as necessary. On the addition to the primary structure, the applicant proposes to use 1" x 6" reverse board on board vertical siding to provide visual separation from the historic primary residence and the detached rear garage module. The rear garage module materials include dark oil stained 1" x random width square edge rough sawn wood siding and self-rusting small rib corrugated metal siding as a wainscotting. Staff finds that all proposed materials abide with the Handbook of Design Standards, particularly Priority Design Standard 125.

The proposed roofing materials consist of a combination of asphalt shingles and standing seam metal roofing on the historic portion of the primary residence, the proposed rear addition, and detached garage. The historic secondary

structure will utilize a rusted corrugated metal roofing material. All of the proposed materials comply with Priority Design Standard 146. Staff has no concerns about the proposed roofing materials.

The applicant proposes to remove the “fascia bric-a-brac”, or “vergeboard”, ornamentation on the primary façade of the residence. The ornamentation is called out in the historical cultural resources survey, see below:

Statement of Significance:** “This property is historically significant for its association with Breckenridge’s residential development dating from the time of its construction in the late 1890s. **It is also architecturally significant for its gabled-L plan and Late Victorian era architectural characteristics, including such features as its bracketed turned porch columns and vergeboard in the façade’s upper gable end. This property may be considered as a contributing resource within the Breckenridge Historic District.” (emphasis added)

***Design Standard 130:** Use ornament and detail with restraint, in keeping with the modest character of the East Side Residential Character Area.*

- *Avoid elaborately ornate details that would confuse the genuine history of the area.*

As mentioned within the cultural resource survey, the Stouffer House is historically significant due to its Victorian details, including the bric-a-brac/vergeboard ornamentation on the primary facade. While the precise history of the ornamentation is uncertain, they align with the Victorian residential character of the area. Design Standard 130 advises using ornament with restraint, avoiding overly elaborate elements that could confuse the area’s genuine history. Staff requests from the applicant additional information and evidence of the historical significance of the ornamentation prior to the consideration of preserving or removing the compliant, character defining ornamentation.

Staff will add a condition of approval that the applicant shall coordinate with the Building Department to ensure compliance with the adopted Wildfire Resiliency and Defensible Space Building Codes.

Site Plan: The project follows the historic settlement pattern for this block (Priority Design Standard 4). It also matches the Town grid (Priority Design Standard 5). Staff believes moving the historic structure 4’ 11” west improves alignment with the general pattern of the historic homes on the block. While maintaining some variation, this adjustment reinforces the visual unity of the block and meets Priority Design Standard 8.

Drainage (27/A & 27/R): The Engineering Division has reviewed the preliminary plans for the project and does not have any concerns.

Energy Conservation (33/R): The applicant proposes to improve the energy efficiency of the existing residences by at least 60 percent above the IECC or SSBC Standards; which warrants positive four (+4) points. Staff will add a condition of approval that requires the applicant to provide the energy modeling analysis of the existing and proposed conditions to guarantee the percentage increase prior to the issuance of a Certificate of Occupancy/Completion.

The applicant proposes a total of 489 sq. ft. of exterior heat snowmelt between the driveway and other flatwork. Staff finds the proposed heated snowmelt does not exceed the minimum amount threshold that warrants negative points (1,000 sq. ft). However, the snowmelt will be subject to the Building Code’s Renewable Energy Mitigation Program (REMP) policy.

The applicant proposes to install two Electronic Vehicle Supply Equipment (EVSE) chargers, which warrants positive one (+1) point under [Policy 33R, Section D](#); both spaces will be located in the proposed garage. Staff will add a condition of approval that requires a covenant to be recorded guaranteeing these spaces be maintained in perpetuity prior to the issuance of a Certificate of Occupancy/Completion.

Accessory Dwelling Units (51/A): The applicant is proposing a deed-restricted accessory dwelling unit (ADU) of 430 sq. ft. The accessory dwelling unit is 18 percent of the proposed square footage of the primary unit (2,438 sq. ft. total density). The applicant is proposing one on-site parking space, as required, and has agreed to place a deed-restrictive covenant on the unit. A condition of approval requiring a recorded covenant prior to issuance of a certificate of occupancy will be added to the findings and conditions for the final hearing. Staff finds the proposed accessory dwelling unit meets the requirements of Policy 51 and has assigned positive three (+3) points under Policy 24/R Section F., the standard point assignment for providing a deed-restricted accessory dwelling unit.

Local Landmark Designation: The applicant is seeking local landmarking status with this application. To be designated as a landmark the property must: (1) satisfy the **sole** requirement of Column A; (2) satisfy **at least one** of the requirements of Column B; and (3) also satisfy **at least one** of the requirements of Column C. Applicable criteria have been highlighted in **bold**.

COLUMN "A"	COLUMN "B"	COLUMN "C"
The property must be at least 50 years old. The original footprint of the Stouffer House was constructed during 1898. The two historic small shed-roofed additions, appear to have been modest early expansions to the original 1898 structure.	<i>The proposed landmark must meet at least ONE of the following 13 criteria:</i> ARCHITECTURAL IMPORTANCE 1. The property exemplifies specific elements of architectural style or period. This property is historically significant for its association with Breckenridge's residential development dating from the time of its construction in the late 1890s. It is also architecturally significant for its gabled-L plan and Late Victorian era architectural characteristics, including such features as its bracketed turned porch columns and vergeboard in the façade's upper gable end. This property may be considered as a contributing resource within the Breckenridge Historic District. 2. The property is an example of the work of an architect or builder who is recognized for expertise nationally, statewide, regionally, or locally. 3. The property demonstrates superior craftsmanship or high artistic value 4. The property represents an innovation in construction, materials or design. 5. The property is of a style particularly associated with the Breckenridge area.	<i>The proposed landmark must meet at least ONE of the following 4 criteria:</i> 1. The property shows character, interest or value as part of the development, heritage or cultural characteristics of the community, region, state, or nation. 2. The property retains original design features, materials and/or character. This property displays an overall high level of integrity relative to the seven aspects of integrity as defined by the National Park Service and the Colorado Historical Society, location, setting, design, materials, workmanship, feeling and association. There are no adverse exterior

	The residence is architecturally notable for its Late Victorian architectural characteristics, including the bracketed turned porch columns and vergeboard in the façade's upper gable end. 6. The property represents a built environment of a group of people in an era of history. 7. The property includes a pattern or grouping of elements representing at least one of the above criteria. 8. The property is a significant historic remodel. SOCIAL IMPORTANCE 9. The property is a site of an historic event that had an effect upon society. 10. The property exemplifies cultural, political, economic or social heritage of the community. 11. The property is associated with a notable person or the work of a notable person. GEOGRAPHIC/ENVIRONMENTAL IMPORTANCE 12. The property enhances sense of identity of the community. 13. The property is an established and familiar natural setting or visual feature of the community	alterations that cannot be remedied to the historic residence. The integrity of setting is enhanced by the historic barn/garage. 3. The structure is on its original location or is in the same historic context after having been moved. 4. The structure has been accurately reconstructed or restored based on documentation.
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Staff finds that the property is eligible for local landmarking. Does the Commission agree? If so, staff will add a condition of approval at the final hearing for the applicant to obtain approval of a bill from the Town Council designating the property as a local landmark.

Point Analysis (Section: 9-1-17-3): At this preliminary review, staff has assigned the below points related to the Relative policies of the Development Code:

Positive sixteen (+16) points:

- Policy 18/R Parking: Positive two (+2) points for relocation of required parking to the rear of the lot and out of public view.
- Policy 24/R, Social Community:
 - Positive three (+3) points for on-site historic preservation/restoration effort of average public benefit for a primary structure.
 - Positive three (+3) points for on-site historic preservation/restoration effort of above average public benefit for a secondary structure.
 - Positive three (+3) points for construction of deed-restricted accessory dwelling unit on the site.
- Policy 33/R Energy Conservation:
 - Positive four (+4) points for improving the energy efficiency of existing residence by at least 60 percent above the IECC and SSBC Standards.
 - Positive one (+1) points - Installation of two (2) EVSE chargers.

Negative nineteen (-19) points:

- Policy 9/R Placement of Structures: Negative six (-6) points for not meeting two relative setback requirements.
- Policy 24/R, Social Community:
 - Negative ten (-10) points for relocating the historic primary structure 4' 11" feet from its original location.
 - Negative three (-3) points for failing Design Standards 132 which encourages new cottonwood plantings.

At this preliminary review, the proposal has a failing score of negative three (-3) points.

Staff Recommendation

The applicant is off to a good start and based on the proposed design, we have the following questions for the Commission:

1. Does the Commission support awarding positive three (+3) points under Policy 24R for historic preservation of average public benefit of the primary structure?
2. Does the Commission support awarding positive three (+3) points under Policy 24R for historic preservation of above average public benefit of the secondary structure, given the site limitations for moving the structure?
3. Does the Commission have concerns about the re-established compliant window on the north façade of the living room impacting historic fabric?
4. Does the Commission agree the property meets the requirements for Local Landmarking Designation and recommend Town Council approve the Designation?
5. Staff recommends two positive (+2) points under Policy 18R for locating the parking proposed out of sight from public view, does the Commission concur?
6. Does the Commission agree with the preliminary point analysis?
7. Does the Commission agree the project is ready for a Final Hearing?

	Class A Hearing Preliminary Point Analysis								
Project:	Stouffer Residence Landmarking, Restoration, and Addition	Positive Points	+16						
Plan #	PL-2025-0355								
Date:	2/13/2026	Negative Points	- 19						
Staff:	Clif Cross, Planner II								
		Total Allocation:	- 3						
Items left blank are either not applicable or have no comment									
Sect.	Policy	Range	Points	Comments					
1/A	Codes, Correlative Documents & Plat Notes	Complies							
2/A	Land Use Guidelines	Complies							
2/R	Land Use Guidelines - Uses	4x(-3/+2)	0	Single-Family Home					
2/R	Land Use Guidelines - Relationship To Other Districts	2x(-2/0)							
2/R	Land Use Guidelines - Nuisances	3x(-2/0)							
3/A	Density/Intensity	Complies							
3/R	Density/ Intensity Guidelines	5x (-2>-20)	0						
4/R	Mass	5x (-2>-20)	0						
5/A	Architectural Compatibility	Complies							
5/R	Architectural Compatibility - Aesthetics	3x(-2/+2)							
5/R	Architectural Compatibility / Conservation District	5x(-5/0)	0	Complies.					
5/R	Architectural Compatibility H.D. / Above Ground Density 12 UPA	(-3>-18)							
5/R	Architectural Compatibility H.D. / Above Ground Density 10 UPA	(-3>-6)							
6/A	Building Height	Complies							
6/R	Relative Building Height - General Provisions	1X(-2,+2)		Max. allowed: 35 ft. Proposed: 21 ft. 6 in.					
	For all structures except Single Family and Duplex Units outside the Historic District								
6/R	Building Height Inside H.D. - 23 feet	(-1>-3)							
6/R	Building Height Inside H.D. - 25 feet	(-1>-5)							
6/R	Building Height Outside H.D. / Stories	(-5>-20)							
6/R	Density in roof structure	1x(+1/-1)							
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)							
	For all Single Family and Duplex Units outside the Conservation District								
6/R	Density in roof structure	1x(+1/-1)							
6/R	Broken, interesting roof forms that step down at the edges	1x(+1/-1)							
6/R	Minimum pitch of eight in twelve (8:12)	1x(0/+1)							
7/R	Site and Environmental Design - General Provisions	2X(-2/+2)							
7/R	Site and Environmental Design / Site Design and Grading	2X(-2/+2)							
7/R	Site and Environmental Design / Site Buffering	4X(-2/+2)		Complies.					
7/R	Site and Environmental Design / Retaining Walls	2X(-2/+2)							
7/R	Site and Environmental Design / Driveways and Site Circulation Systems	4X(-2/+2)							
7/R	Site and Environmental Design / Site Privacy	2X(-1/+1)							
7/R	Site and Environmental Design / Wetlands	2X(0/+2)							
7/R	Site and Environmental Design / Significant Natural Features	2X(-2/+2)							
8/A	Ridgeline and Hillside Development	Complies							
9/A	Placement of Structures	Complies							
9/R	Placement of Structures - Public Safety	2x(-2/+2)							
9/R	Placement of Structures - Adverse Effects	3x(-2/0)							
9/R	Placement of Structures - Public Snow Storage	4x(-2/0)							
9/R	Placement of Structures - Setbacks	3x(0/-3)	- 6	Negative six (-6) points for not meeting two relative setback requirements.					
12/A	Signs	Complies							
13/A	Snow Removal/Storage	Complies							
13/R	Snow Removal/Storage - Snow Storage Area	4x(-2/+2)	0	N/A per 9-1-19-13R					
14/A	Storage	Complies							
14/R	Storage	2x(-2/0)							
15/A	Refuse	Complies							
15/R	Refuse - Dumpster enclosure incorporated in principal structure	1x(+1)							
15/R	Refuse - Rehabilitated historic shed as trash enclosure	1x(+2)							
15/R	Refuse - Dumpster sharing with neighboring property (on site)	1x(+2)							
16/A	Internal Circulation	Complies							
16/R	Internal Circulation / Accessibility	3x(-2/+2)							
16/R	Internal Circulation - Drive Through Operations	3x(-2/0)							
17/A	External Circulation	Complies							
18/A	Parking	Complies		Required: 3 spaces Proposed: 3 spaces					
18/R	Parking - General Requirements	1x(-2/+2)							
18/R	Parking-Public View/Usage	2x(-2/+2)	+2	Positive two (+2) points for relocation of required parking to the rear of the lot and out of public view.					
18/R	Parking - Joint Parking Facilities	1x(+1)							
18/R	Parking - Common Driveways	1x(+1)							
18/R	Parking - Downtown Service Area	2x(-2+2)							
19/A	Loading	Complies							
20/R	Recreation Facilities	3x(-2/+2)							
21/R	Open Space - Private Open Space	3x(-2/+2)	0	Required: 26,459 sq. ft. (30% of site) Proposed: 78,917 sq. ft. (89.48% of site)					
21/R	Open Space - Public Open Space	3x(0/+2)							
22/A	Landscaping	Complies							
22/R	Landscaping	2x(-1/+3)	0						
24/A	Social Community	Complies							
24/R	Social Community - Employee Housing	1x(-10/+10)							
24/R	Social Community - Community Need	3x(0/+2)							

24/R	Social Community - Social Services	4x(-2/+2)							
24/R	Social Community - Meeting and Conference Rooms	3x(0/+2)							
24/R	Social Community - Historic Preservation	3x(0/+5)							
24/R	Social Community - Historic Preservation		- 3	Negative three (-3) points for failing Design Standards 132 which encourages new cottonwood plantings.					
24/R	Social Community - Historic Preservation/Restoration - Benefit	+3/6/9/12/15	+3	Positive three (+3) points for on-site historic preservation/restoration effort of average public benefit for a primary structure.					
			+3	Positive three (+3) points for on-site historic preservation/restoration effort of above average public benefit for a secondary structure.					
24/R	Social Community - Historic Preservation/Restoration - Moving	0/-10/-15/-20	- 10	Negative ten (-10) points for relocating the historic primary structure 4' 11" feet from its original location.					
24/R	Social Community - Accessory Dwelling Unit	3x (0/+1)	+3	Positive three (+3) points for construction of deed-restricted accessory dwelling unit of 430 sq. ft. on the site.					
25/R	Transit	4x(-2/+2)							
26/A	Infrastructure	N/A							
26/R	Infrastructure - Capital Improvements	4x(-2/+2)							
27/A	Drainage	Complies							
27/R	Drainage - Municipal Drainage System	3x(0/+2)							
28/A	Utilities - Power lines	N/A							
29/A	Construction Activities	Complies							
30/A	Air Quality	Complies							
30/R	Air Quality - wood-burning appliance in restaurant/bar	-2							
30/R	Beyond the provisions of Policy 30/A	2x(0/+2)							
31/A	Water Quality	Complies							
31/R	Water Quality - Water Criteria	3x(0/+2)							
32/A	Water Conservation	Complies							
33/R	Energy Conservation - Renewable Energy Sources	3x(0/+2)							
33/R	Energy Conservation - Energy Conservation	3x(-2/+2)							
	HERS index for Residential Buildings								
33/R	HERS/ERI analysis = 20% - 39% energy saved	+2							
33/R	HERS/ERI analysis = 40% - 59% energy saved	+3							
33/R	HERS/ERI analysis = 60% - 79% energy saved	+4	+4	The applicant proposes to improve the HERS/ERI rating of the existing structure by 60-79%.					
33/R	HERS/ERI analysis = 80% - 99% energy saved	+5							
33/R	EVSE Parking Space	1X(+3/0)	+1	The applicant proposes two (2) EVSE Installed parking spaces.					
33/R	HERS/ERI analysis = 100% energy saved	+6							
33/R	Heated driveway, sidewalk, plaza, etc.	1X(-3/0)	0	Applicant only proposes 489 sq. ft. of heated paving.					
33/R	Outdoor commercial or common space residential gas fireplace (per fireplace)	1X(-1/0)							
33/R	Large Outdoor Water Feature	1X(-1/0)							
33/R	Other Design Feature	1X(-2/+2)							
34/A	Hazardous Conditions	Complies							
34/R	Hazardous Conditions - Floodway Improvements	3x(0/+2)							
35/A	Subdivision	Complies							
36/A	Temporary Structures	Complies							
37/A	Special Areas	Complies							
37/R	Community Entrance	4x(-2/0)							
37/R	Individual Sites	3x(-2/+2)							
37/R	Blue River	2x(0/+2)							
37R	Cucumber Gulch/Setbacks	2x(0/+2)							
37R	Cucumber Gulch/Impervious Surfaces	1x(0/-2)							
38/A	Home Occupation	Complies							
39/A	Master Plan	Complies							
40/A	Chalet House	Complies							
41/A	Satellite Earth Station Antennas	Complies							
42/A	Exterior Loudspeakers	Complies							
43/A	Public Art	Complies							
43/R	Public Art	1x(0/+1)							
44/A	Radio Broadcasts	Complies							
45/A	Special Commercial Events	Complies							
46/A	Exterior Lighting	Complies							
47/A	Fences, Gates And Gateway Entrance Monuments	Complies							
48/A	Voluntary Defensible Space	Complies							
49/A	Vendor Carts	Complies							
50/A	Wireless Communication Facilities	Complies							

Project General Notes

- This set of drawings constitutes a "Builder's Set" only. General Contractor shall be responsible for all existing conditions, finishes, detailing and overall project coordination.
- The Architect has made every effort to set forth in the Contract Documents the complete scope of the work. Due to the complexity of the design and construction process, omissions and discrepancies may arise. Any such conflicts must be brought to the attention of the Architect prior to commencement of construction, or the Architect shall be relieved of responsibility for the consequences. Such omissions and discrepancies shall not excuse the General Contractor from providing a complete project in accordance with the intent of these documents.
- Changes or deviations from the plans made without the consent of the Architect are unauthorized and shall relieve the Architect of responsibility for all consequences arising out of such changes.
- Construction and construction methods are to be in accordance with all applicable codes, including the current code: 2018 International Residential Code & 2018 IECC Code.
- All construction including lighting, landscaping and signage to be in conformance with all applicable local codes and agencies.
- General Contractor shall verify all dimensions, conditions and utility locations on the job site prior to the beginning of any work or ordering of any materials.
- Written dimensions prevail over scaled dimensions; do not scale drawings. Notify Architect of any conflicts or discrepancies in the drawings immediately.
- Due to the severe weather conditions in Summit County, the Owners must be aware of their responsibility to reasonably maintain all roof and deck surfaces as required to avoid potential ice and water damage.

Site Plan General Notes

- Review staging areas, dirt storage areas and areas to be protected and construction fence locations with the Town of Breckenridge and Owners prior to commencing construction.
- G.C. shall verify grades and existing site conditions prior to construction.
- Site plan information based on topographic map by: Range West, Inc. 470-466-6226 Date of field survey: 10-24-2023
- Refer also to building elevations for finish grading and window well information.
- Provide drainage swales to accommodate existing natural drainage as well as any drainage increase created by new grade changes. Provide positive drainage away from building, 1 to 12 minimum.
- G.C. to field verify all utility locations and connections prior to construction. Verify meter locations with Xcel Energy. All utilities to be underground. Use common trench where applicable.
- See lower level floor plan and foundation plan for perimeter drain location. Verify required dry well locations with the Town of Breckenridge Engineering.
- See plans and construction details for typical roof over-hang dimensions.

Plan Certification

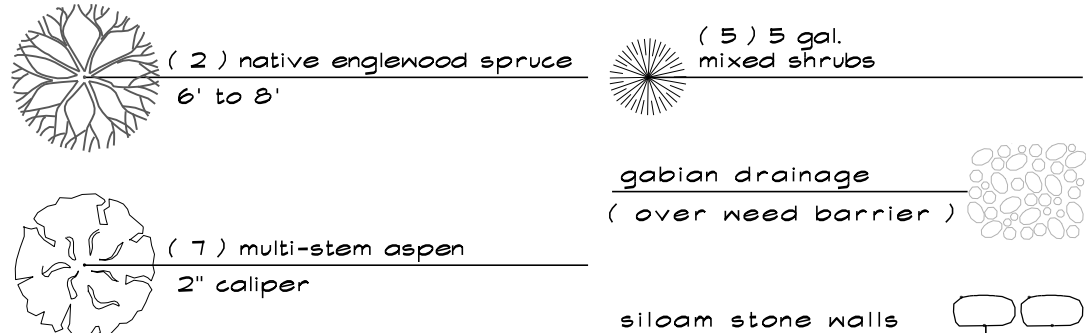
Project Name: STOUFFER HOUSE - RESTORATION / ADDITION
Legal Description: LOT 6, BLOCK 7, YINGLING & MICKLES ADDITION
Upon the issuance of a development permit by the Town of Breckenridge, this site plan shall be binding upon the applicant, and the applicant's successors and assigns, until such time as the Town has issued a final certificate of occupancy or a certificate of compliance. Prior to the issuance of a final certificate of occupancy or certificate of compliance, this plan shall limit and control the issuance and validity of all building permits, and shall restrict and limit the construction location, use, occupancy and operation of all land and structures within this plan to all conditions, requirements, locations and limitations set forth herein and in the development permit for this site. Abandonment, withdrawal or amendment of this plan may be permitted only in accordance with the Breckenridge Development Code. This document represents the entire understanding between the applicant and the Town of Breckenridge with regard to development rights and density remaining on this site.

Owner's Signature: _____
Owner Name: _____
Architect's Signature: _____
Community Development Director Signature: _____

Landscape General Notes

- All stone retaining walls to be flat "siloam" stone or equal.
- Dirt work: remove all construction debris, concrete, mortar, etc. from site prior to landscape work. Grade subgrade to within 2" of final grade. Provide positive drainage at building perimeter. Place 3" of approved top soil over all disturbed property and fine grade top soil for seeding.
- Locate all plant material to avoid snow shed areas from roof.
- Revegetate all disturbed property with sod or grass seed and new landscaping. Rake out areas to be seeded and apply starter fertilizer. Seed and lightly rake soil.
- Gabion drip lines shall be of 3" minimum diameter cable rock at all eave, valley, and other snow shed locations, over need barrier.
- Provide rock rip-rap where required for erosion control.
- All shrub beds and tree beds to receive 2 inches minimum, bark mulch.
- Bark mulch under all rock terrace plantings.
- Perennial plants to be mixture of native alpine plants.
- Provide drip irrigation system as required to maintain all new plantings.

Landscape - Symbols Legend



Stouffer House

Lot 6 - Block 7, Yingling & Mickles Addition
Address: 110 S. Harris Street
Lot = 6,249 Sq. Ft. / 0.1 Acres

Main Level floor elevations:

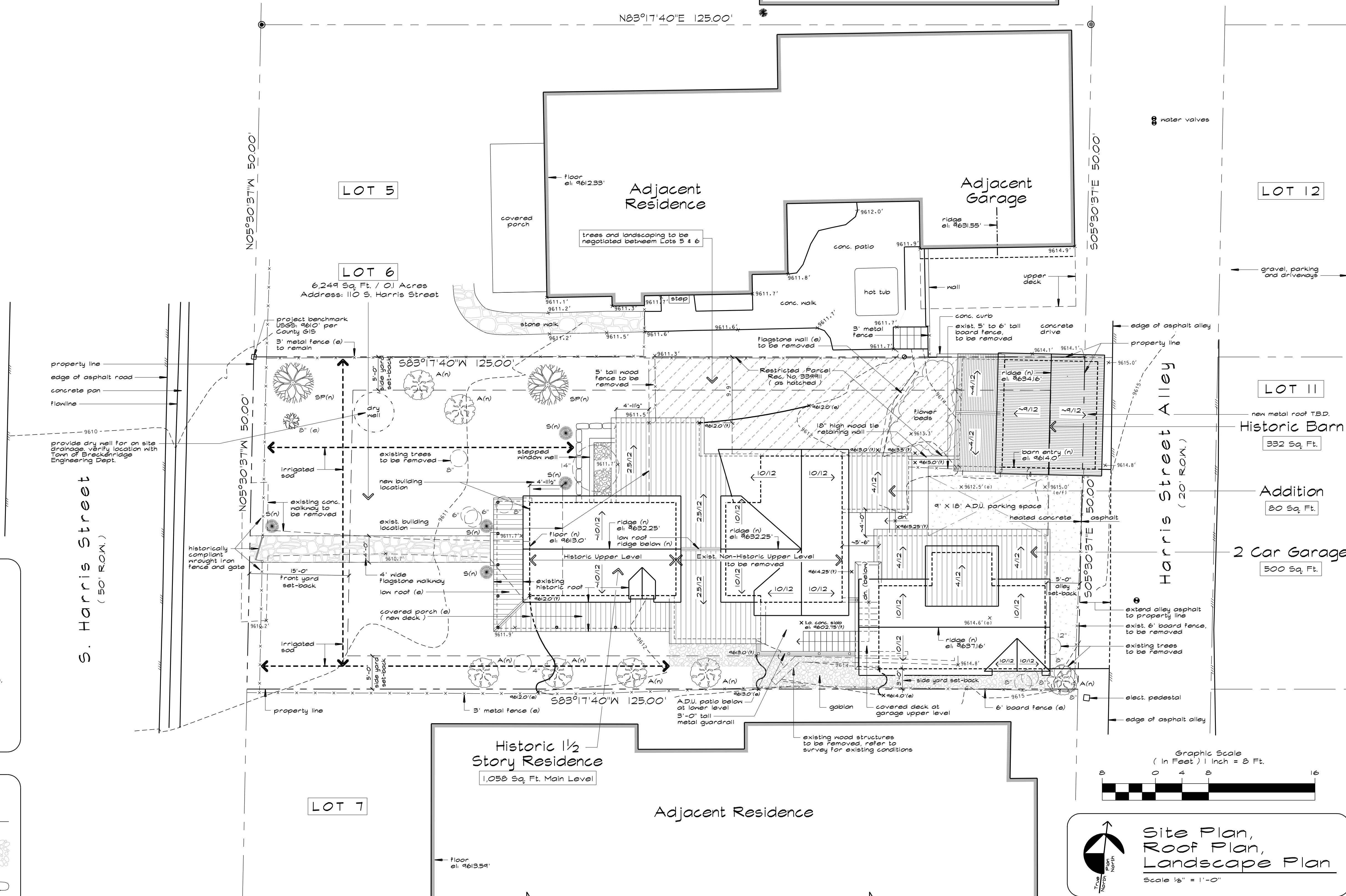
House - Main Level: ARCH 100'-0" = USGS 9613.0' (USGS 9612.34' - existing)
House - Lower Level: ARCH 90'-0" = USGS 9603.0'
House - Upper Level: ARCH 109'-2"
Rear Addition: ARCH 101'-6" = USGS 9614.50'
Historic Barn: ARCH 101'-0" = USGS 9614.0' (USGS 9613.16' - existing)
Garage - Main Level: ARCH 102'-0" = USGS 9615.0'
Garage - Upper Level: ARCH 111'-9"

Ridge elevations:

Historic House: ARCH 119'-3" = USGS 9632.25' (USGS 9631.6' - existing)
House Addition: ARCH 119'-3" = USGS 9632.25'
Historic Barn: ARCH 121'-4" = USGS 9634.34' (USGS 9633.34' - existing)
Garage: ARCH 124'-2" = USGS 9637.16'

Site Calculations

Building footprints:	1,934 Sq. Ft.
Exterior flatwork: (heated)	147 Sq. Ft.
Covered porch:	200 Sq. Ft.
Paved driveway / Parking:	342 Sq. Ft.
Total Lot Coverage: (42%)	2,623 Sq. Ft.
Lot Size:	6,249 Sq. Ft.
Open Space: (58%)	3,621 Sq. Ft.



STOUFFER HOUSE

RESTORATION / ADDITION
LOT 6, BLOCK 7, YINGLING & MICKLES ADDITION
TOWN OF BRECKENRIDGE, COLORADO

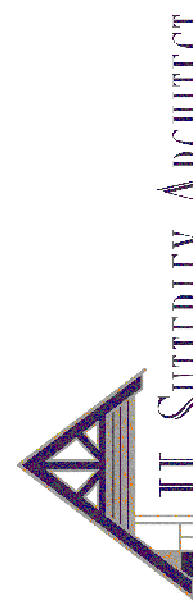
Design Development

Site Plan,
Roof Plan,
Landscape Plan

©

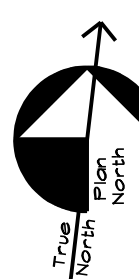
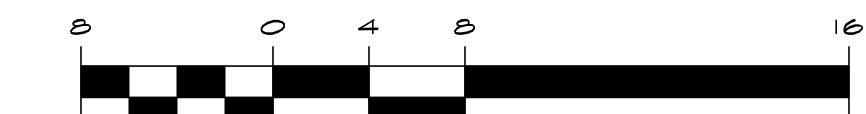
Scale 1/8" = 1'-0"
Date: 02-04-2026

architectural
consultation

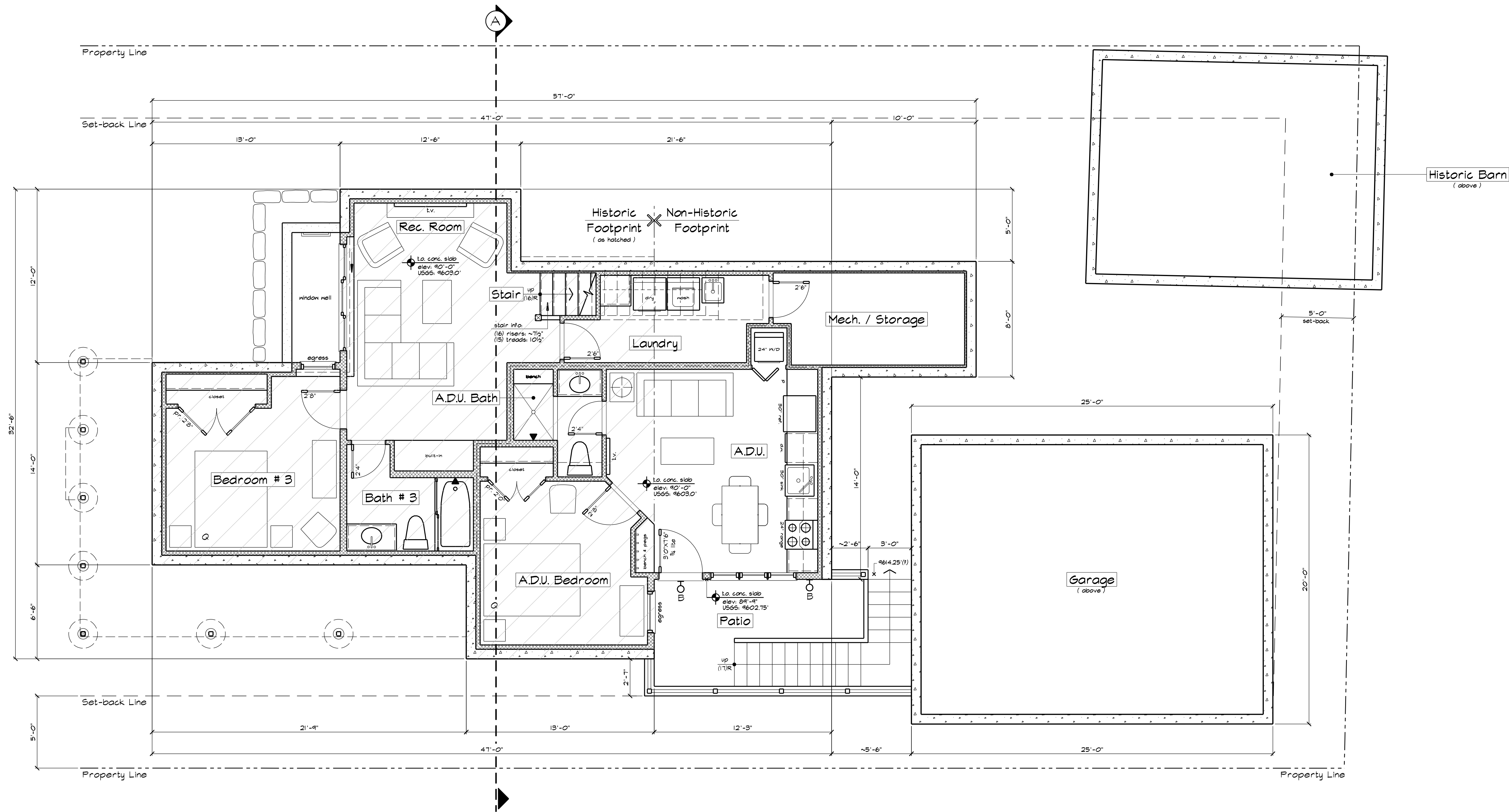


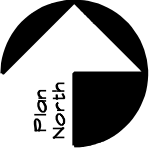
A-1

Graphic Scale
(in Feet) 1 inch = 8 Ft.



Site Plan,
Roof Plan,
Landscape Plan
Scale 1/8" = 1'-0"





Plan North

Lower Level Floor Plan

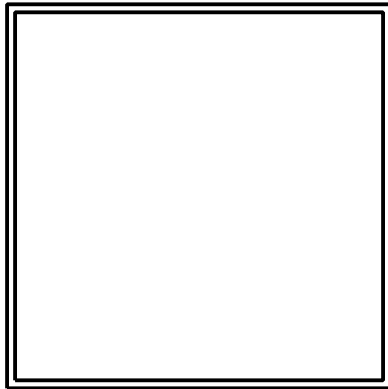
Scale: 1/4" = 1'-0"

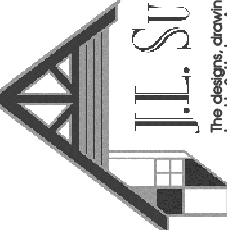
Lower Living Sq. Ft. Summary:

Gross Area: (Footprint)	= 1,135 S.F.
Historic:	= 785 S.F.
Non-Historic:	= 350 S.F.
Gross Area: (Footprint)	= 1,135 S.F.
Residence:	= 705 S.F.
A.D.U.:	= 430 S.F.

STOUFFER HOUSE
RESTORATION / ADDITION
LOT 6, BLOCK 7, YINGLING & MICKLES ADDITION
TOWN OF BRECKENRIDGE, COLORADO

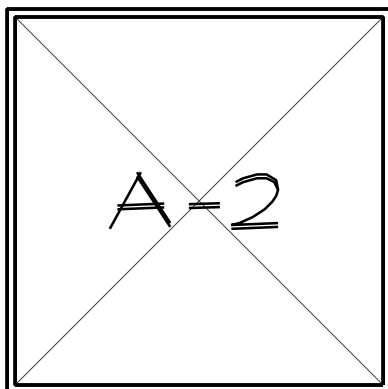
Design Development
Floor Plans:
Lower Level
Scale: 1/4" = 1'-0"
Date: 02-04-2026

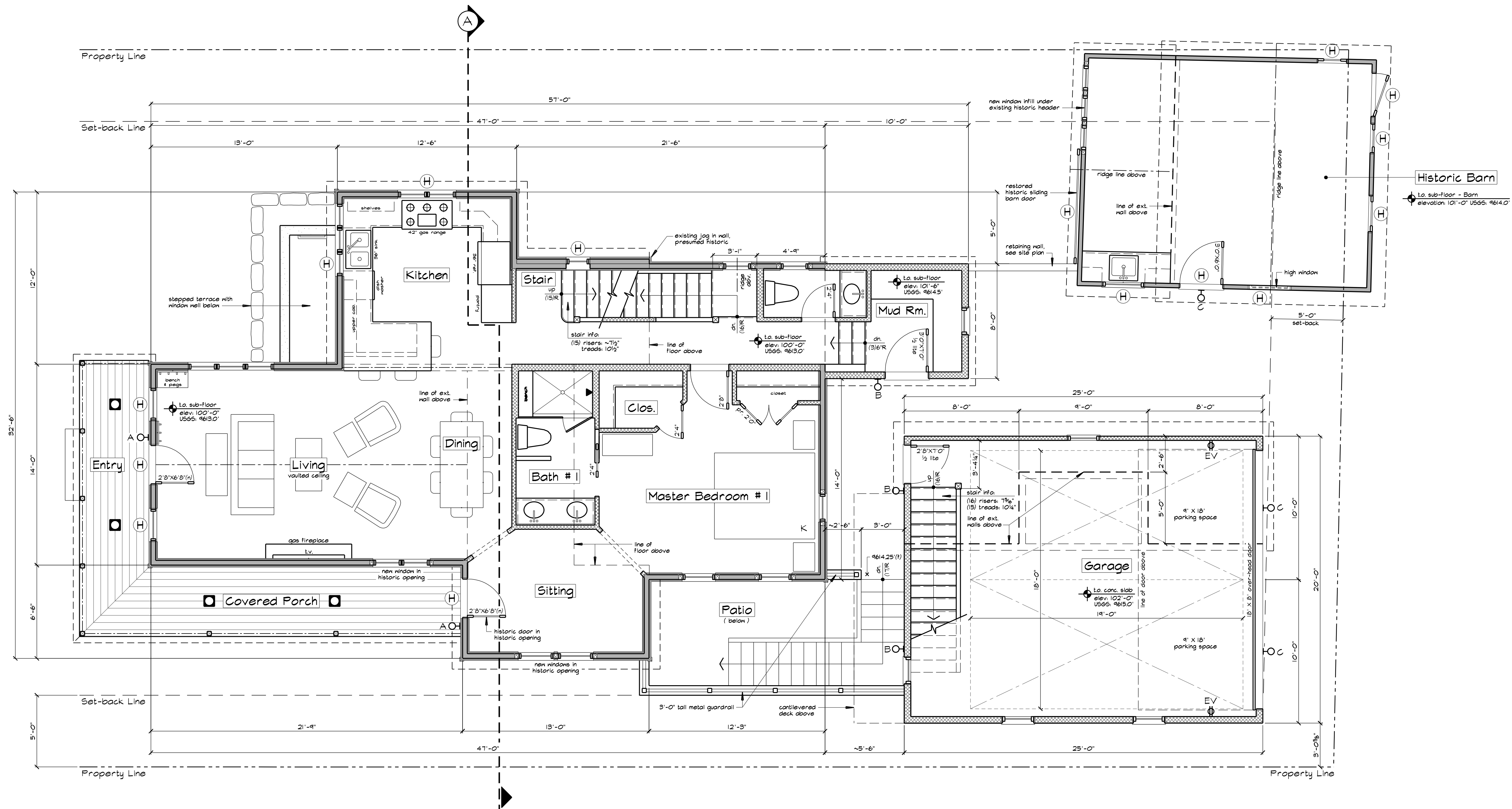




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Main Level Floor Plan
 Scale: 1/4" = 1'-0"

Main Living Sq. Ft. Summary:
 Gross Area (footprint) = 1,138 S.F.
 Minus stair: = -32 S.F.
 Total Main Level Above ground Density = 1,106 S.F.

Gross Area (footprint) = 1,138 S.F.
 Historic: = 788 S.F.
 Non-historic existing: = 270 S.F.
 Addition: = 80 S.F.

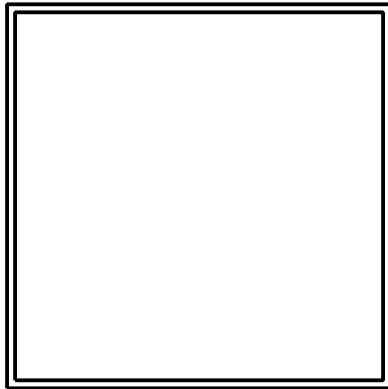
Garage Main Level Floor Plan
 Scale: 1/4" = 1'-0"

Total Gross Sq. Ft. = 500

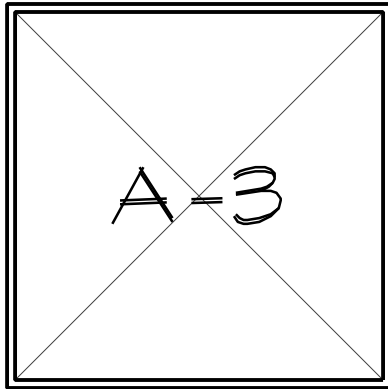
(H) historic window or door in historic opening

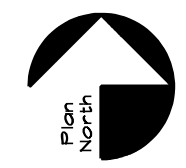
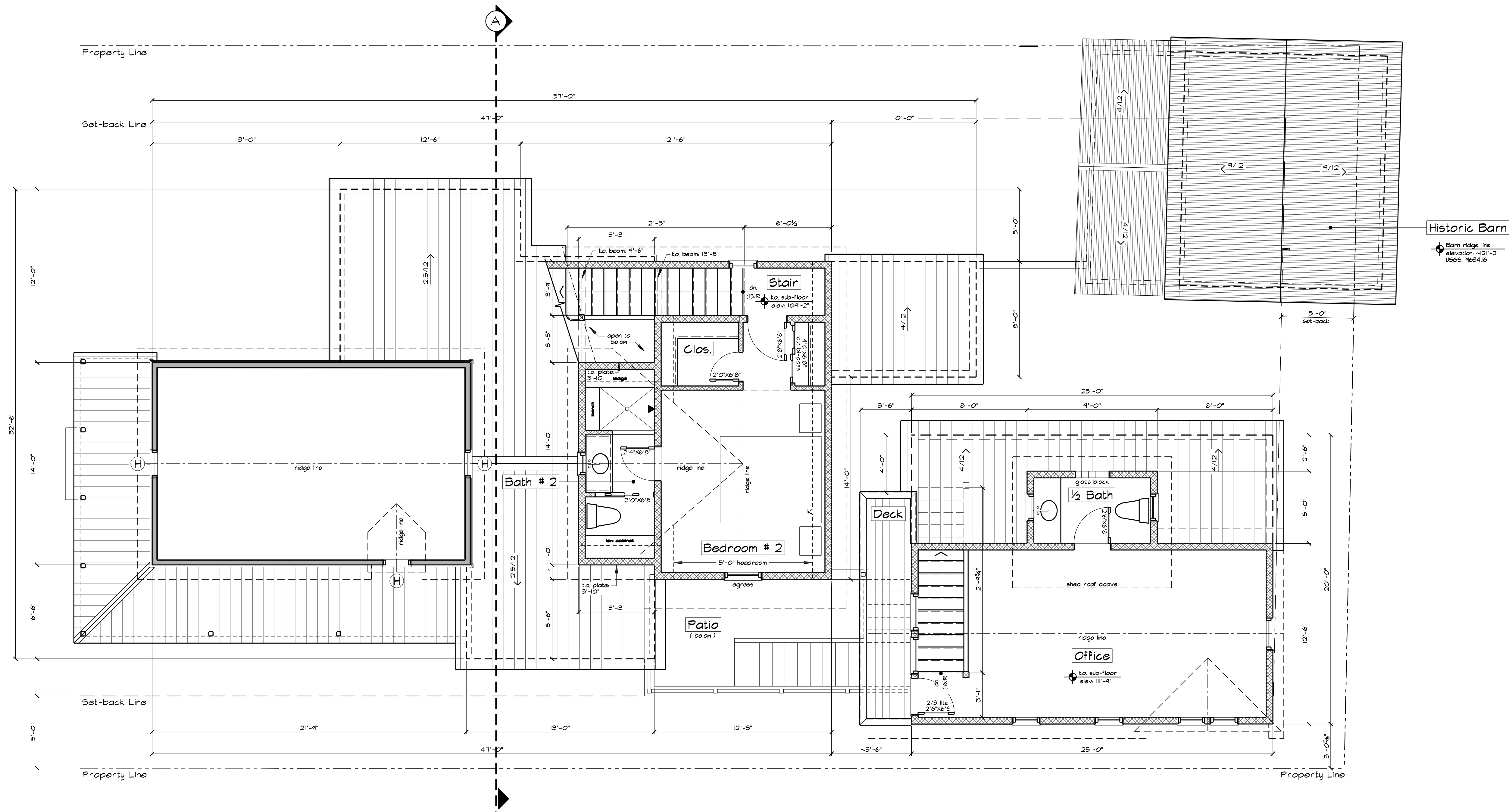
STOUFFER HOUSE
 RESTORATION / ADDITION
 LOT 6, BLOCK 7, YINGLING & MICKLES ADDITION
 TOWN OF BRECKENRIDGE, COLORADO

Design Development
 Floor Plans:
 Main Level
 Scale: 1/4" = 1'-0"
 Date: 02-04-2026



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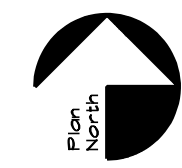




Upper Level Floor Plan

Scale: 1/4" = 1'-0"

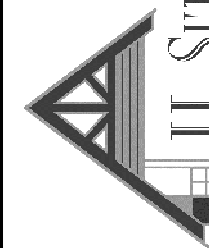
Upper Living Sq. Ft. Summary:
Living: (5' headroom) = 270 S.F.
Total Upper Level Density = 270 S.F.



Garage Upper Level Floor Plan

Scale: 1/4" = 1'-0"

Total Upper Level Density = 325 Sq. Ft.



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Design Development

Floor Plans:

Upper Level

Scale: 1/4" = 1'-0"

Date: 02-04-2026

STOUFFER HOUSE

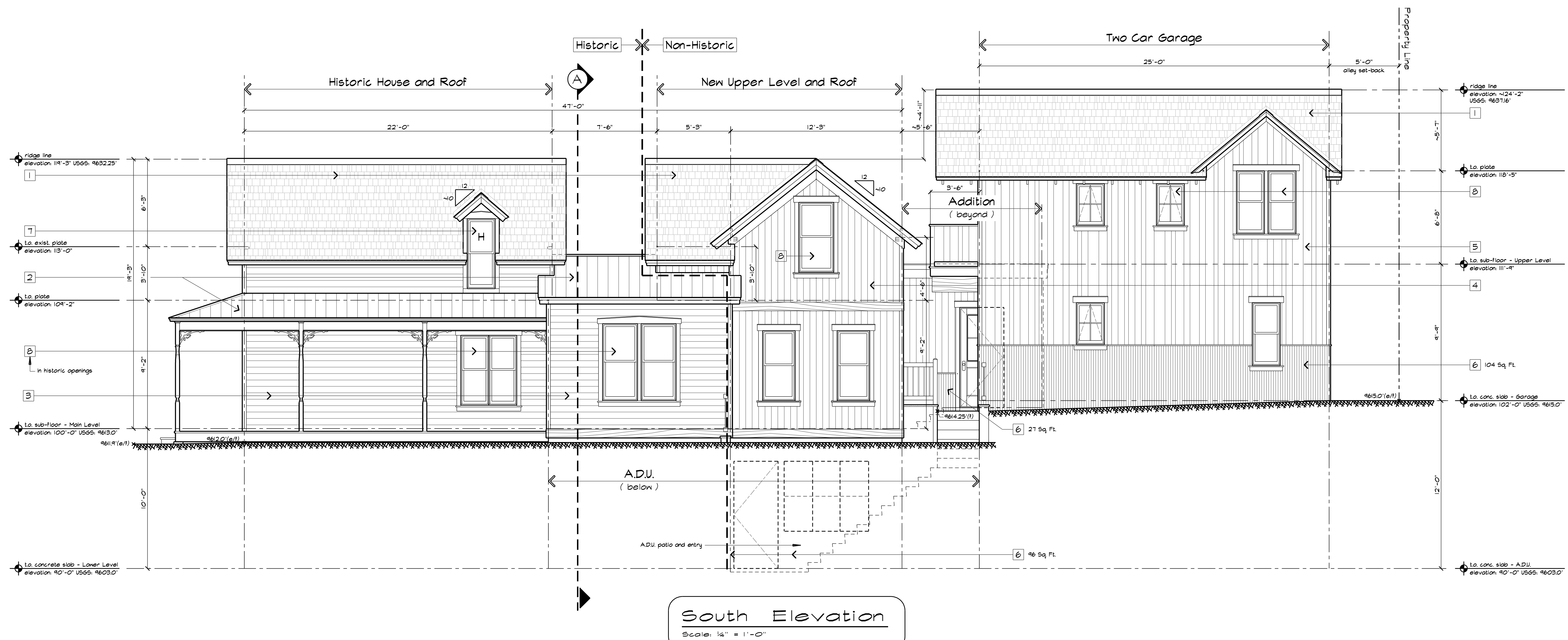
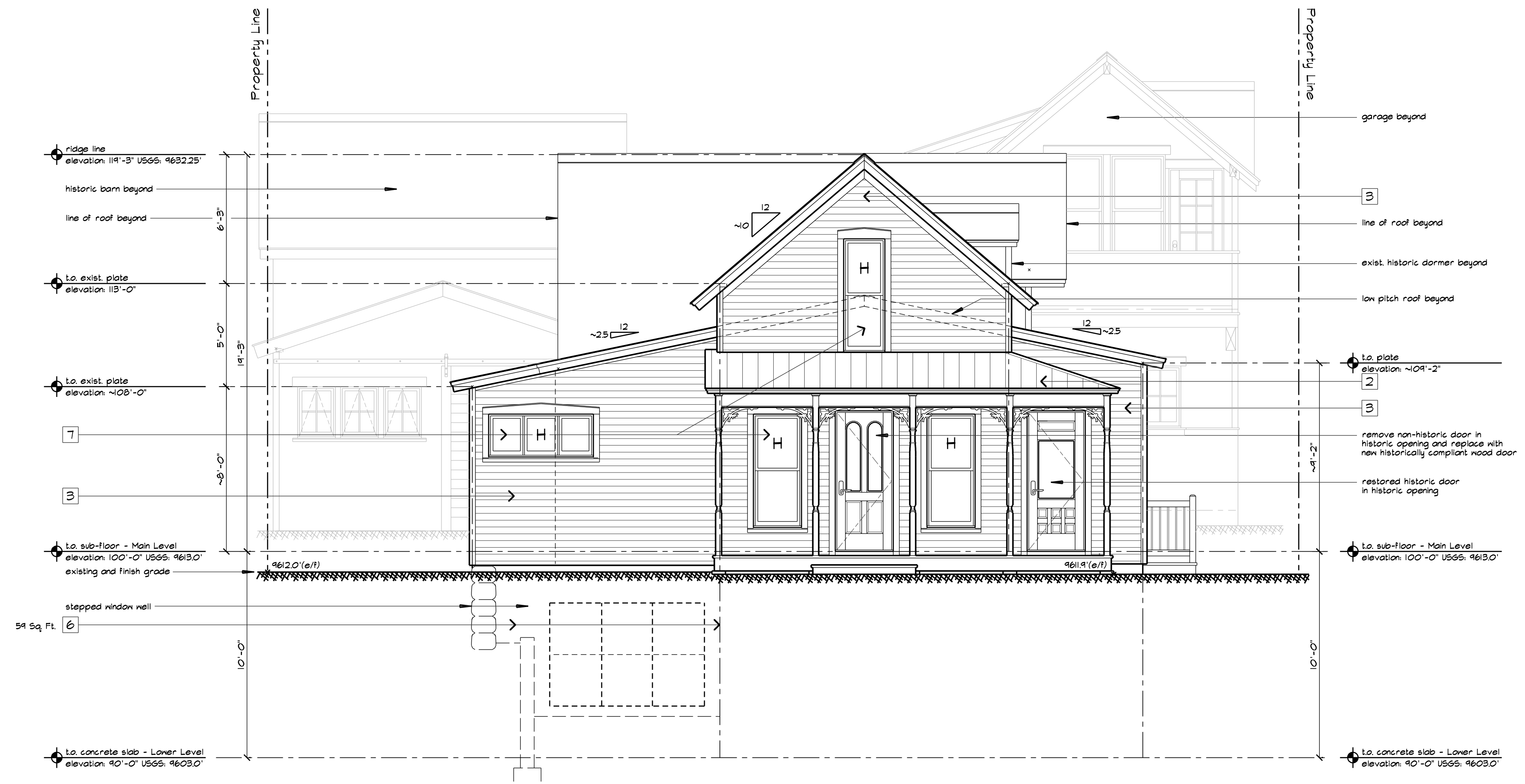
RESTORATION / ADDITION

LOT 6, BLOCK 7, YINGLING & MICKLES ADDITION
TOWN OF BRECKENRIDGE, COLORADO

A-4

- 1 Heavyweight asphalt composition shingles - color TBD.
- 2 Low seated metal roofing with 1" max. seam height at 4 centers - Finish TBD.
- 3 4½" bevel lap cedar siding to remain, restore where required replace as necessary - paint
- 4 1 x 6 reverse board on board S2S vertical siding - solid stain or paint
- 5 1 x random rib (6/8/10 inch) square edge rough sawn - old oil finish
- 6 small rnb corrugated metal siding - color TBD.
- 7 Restored wood windows and doors
- 8 New wood windows and doors
- 9 Corrugated metal roofing and flashing (historic barn only) Finish TBD.
- 10 Heated gutter and downspouts

Scale: $\frac{1}{4}" = 1'-0"$



Scale: $\frac{1}{4}" = 1'-0"$

STOUTER HOUSE

RESTORATION / ADDITION
LOT 6, BLOCK 7, YINGLING & MICKLES ADDITION
TOWN OF BRECKENRIDGE, COLORADO

Design Development
Exterior Elevations:

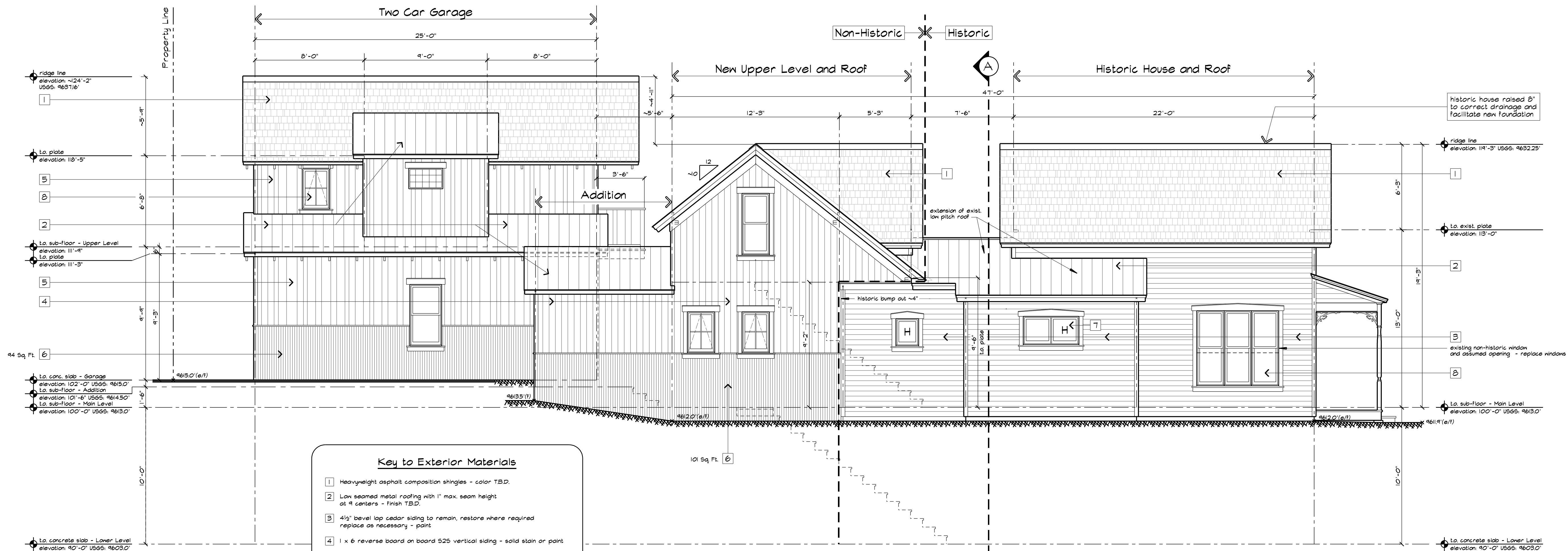
Date: 02-04-2026

consultation

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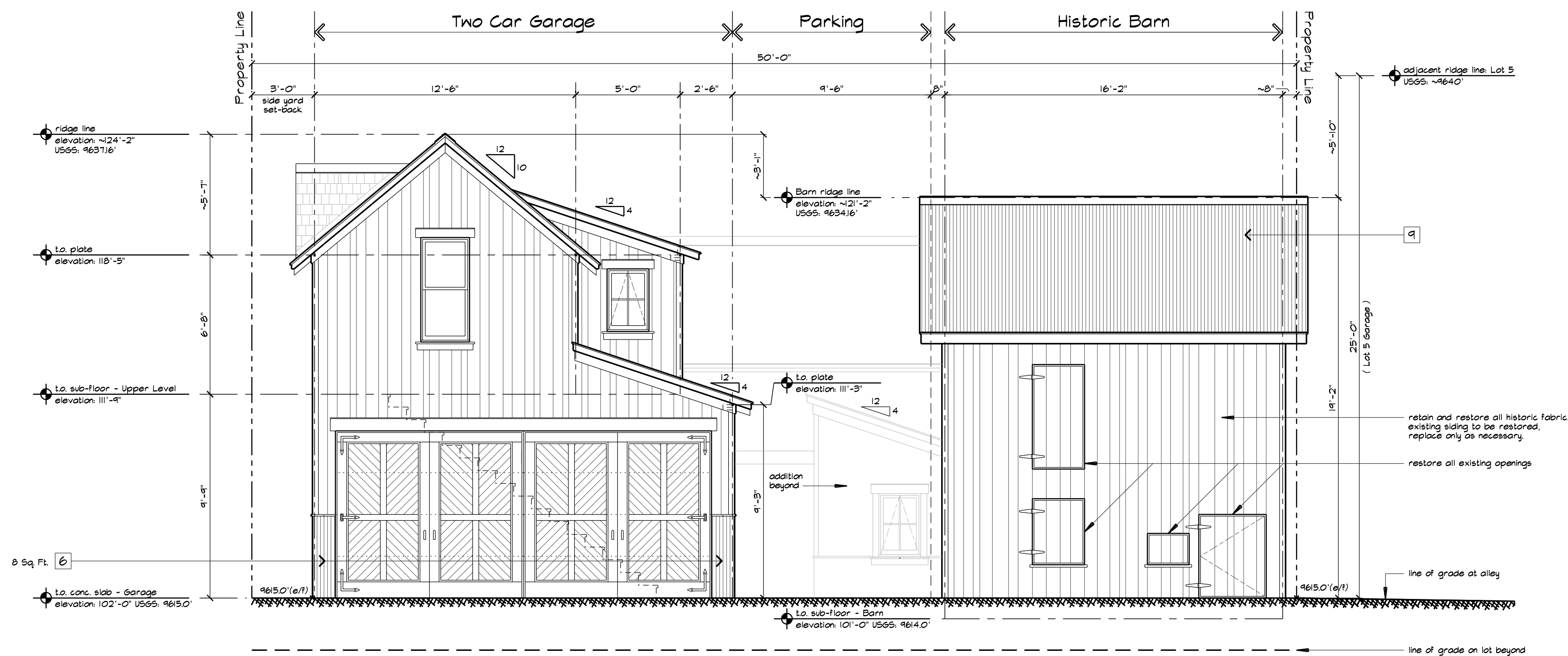
[illegible]

Page 28 of 43



North Elevation

Scale: 1/4" = 1'-0"



Alley East Elevation

Scale: 1/4" = 1'-0"

STOUFFER HOUSE

RESTORATION / ADDITION

LOT 6, BLOCK 7, YINGLING & MICKLES ADDITION
TOWN OF BRECKENRIDGE, COLORADO

Design Development
Exterior Elevations:

Scale: 1/4" = 1'-0"
Date: 02-04-2026

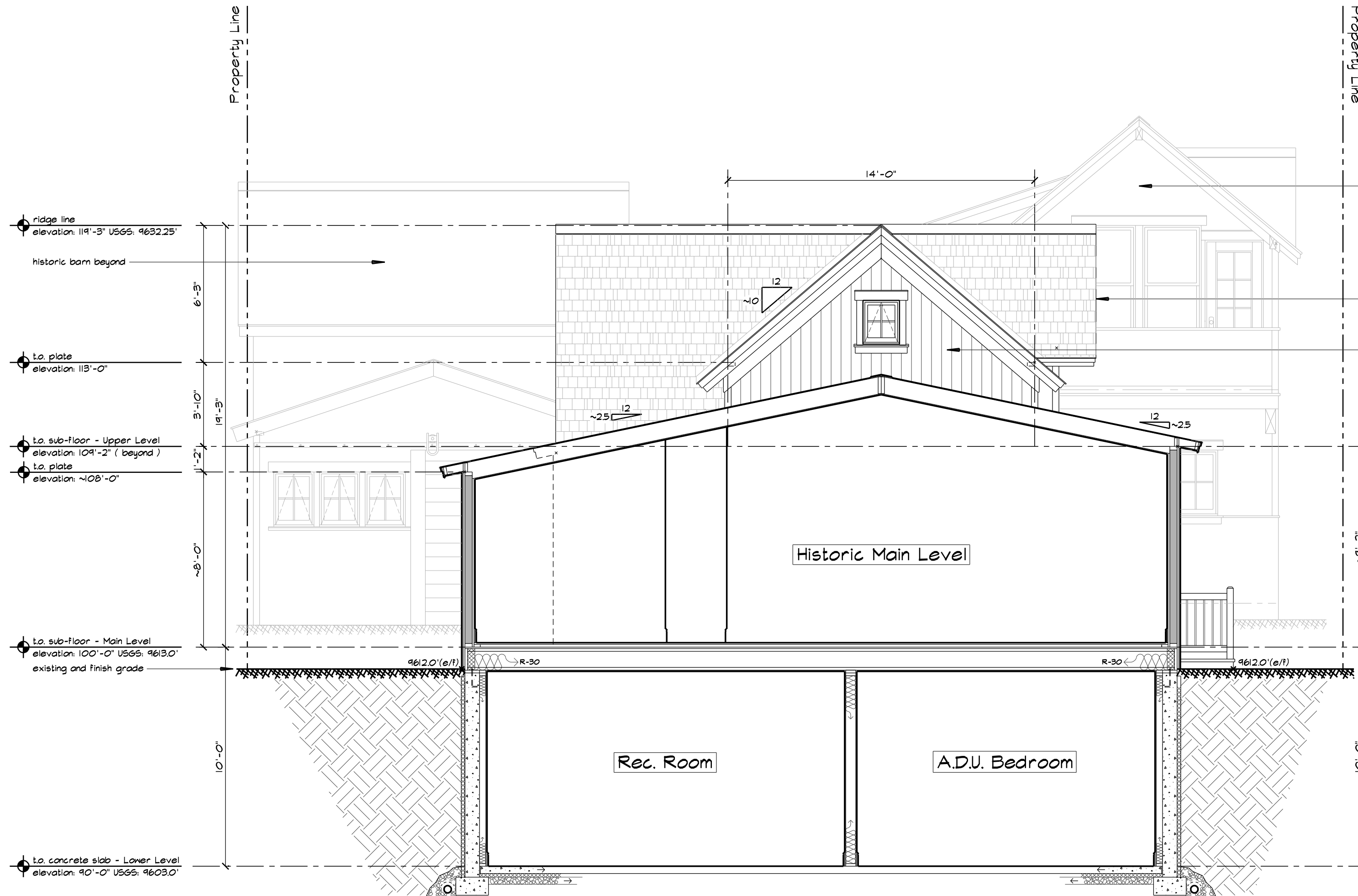
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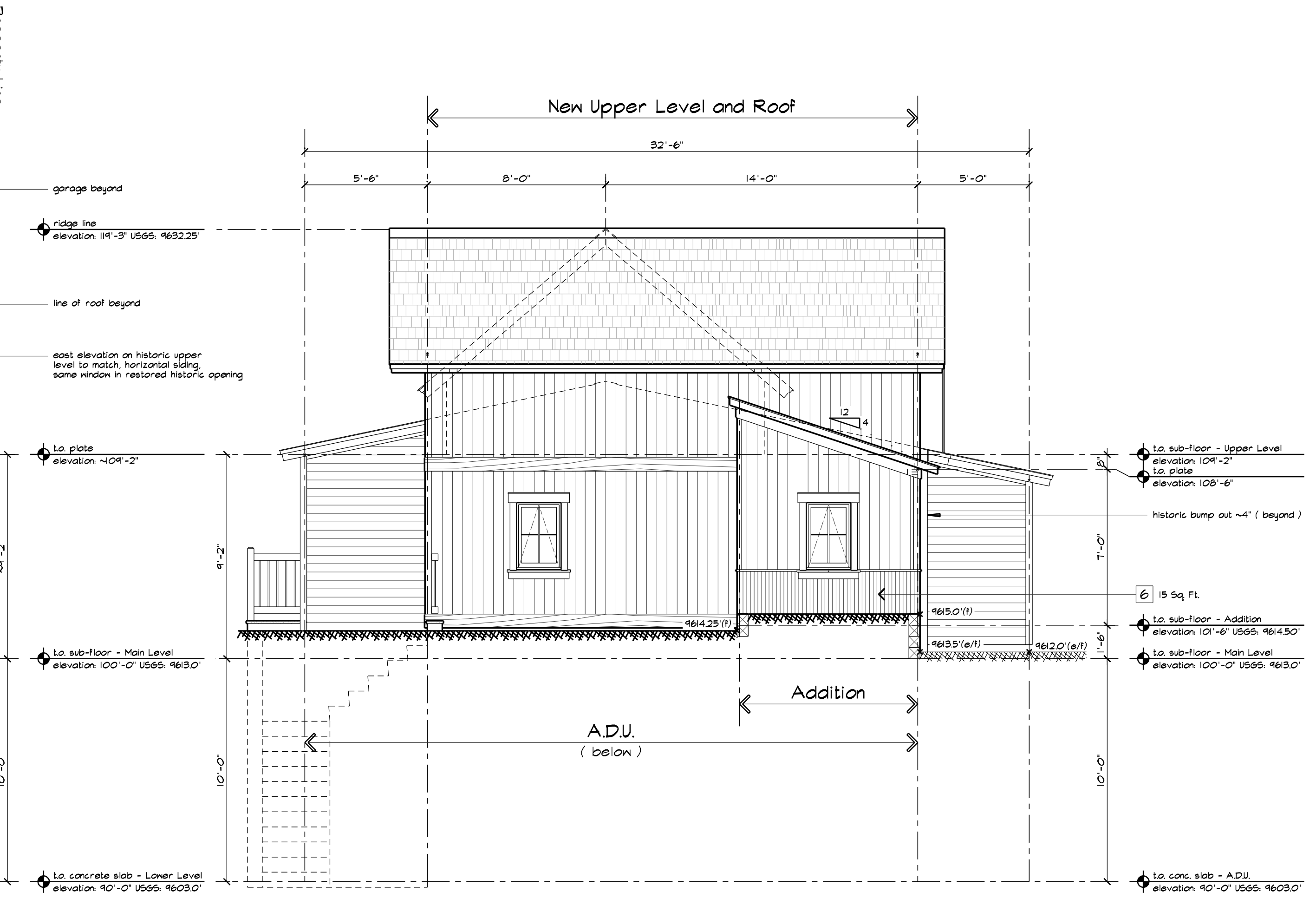


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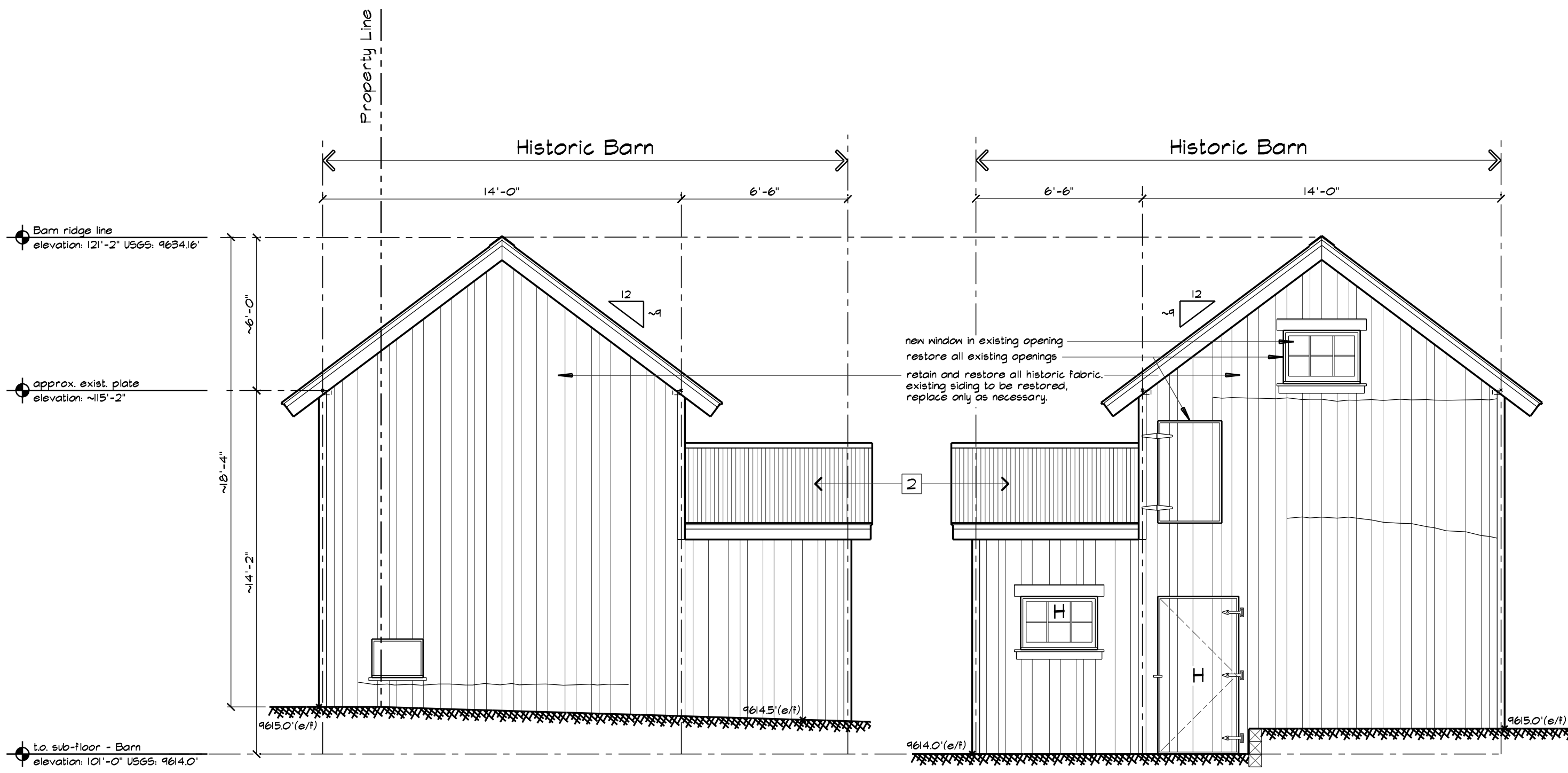
A-6



Building Section "A"
Scale: 1/4" = 1'-0"

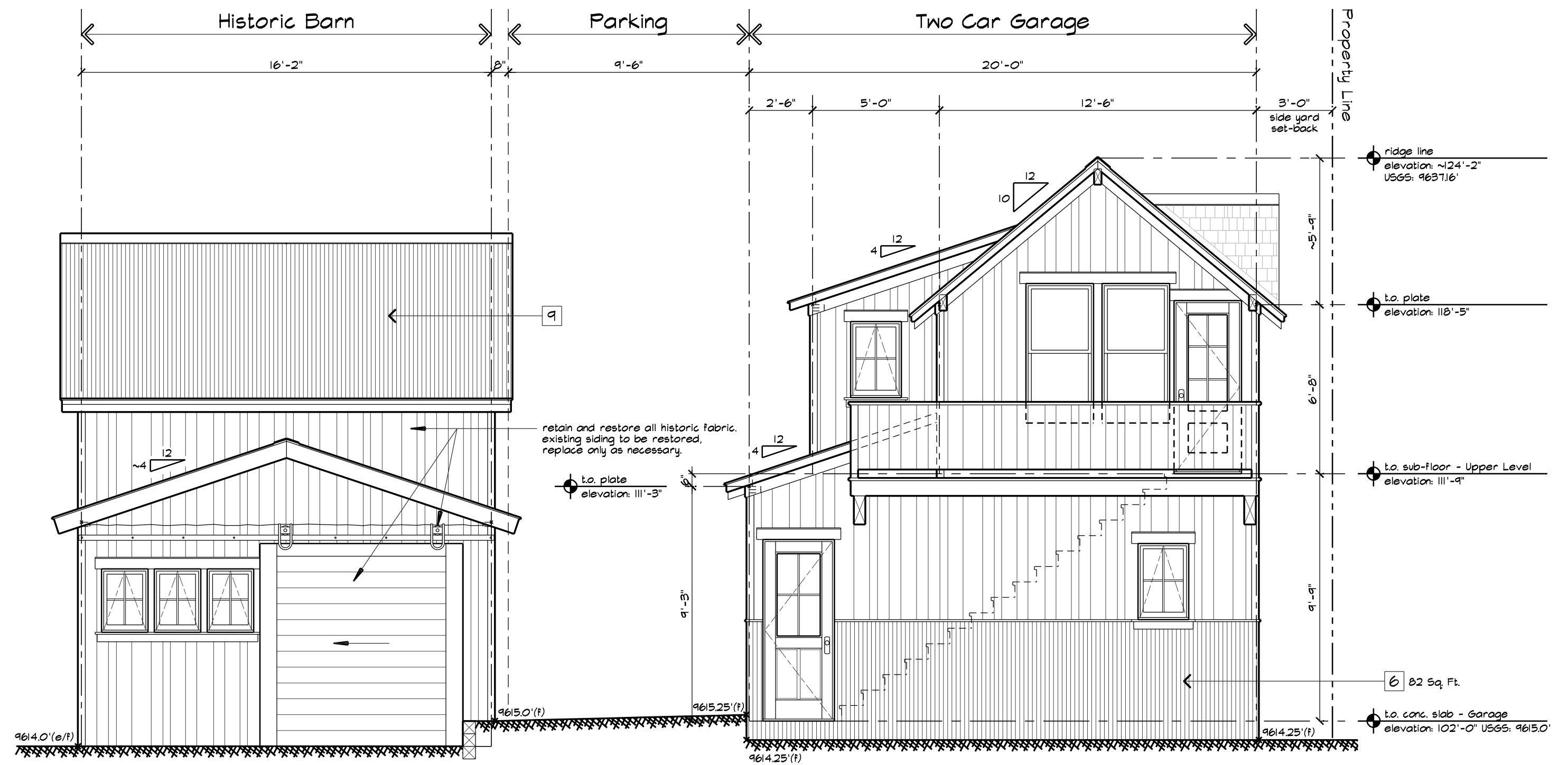


House East Elevation
Scale: 1/4" = 1'-0"



Barn North Elevation
Scale: 1/4" = 1'-0"

Barn South Elevation
Scale: 1/4" = 1'-0"



Barn West Elevation
Scale: 1/4" = 1'-0"

Garage West Elevation
Scale: 1/4" = 1'-0"

STOUFFER HOUSE

RESTORATION / ADDITION
LOT 6, BLOCK 7, YINGLING & MICKLES ADDITION
TOWN OF BRECKENRIDGE, COLORADO

Design Development
Exterior Elevations,
Building Section "A"

Scale: 1/4" = 1'-0"
Date: 02-04-2026

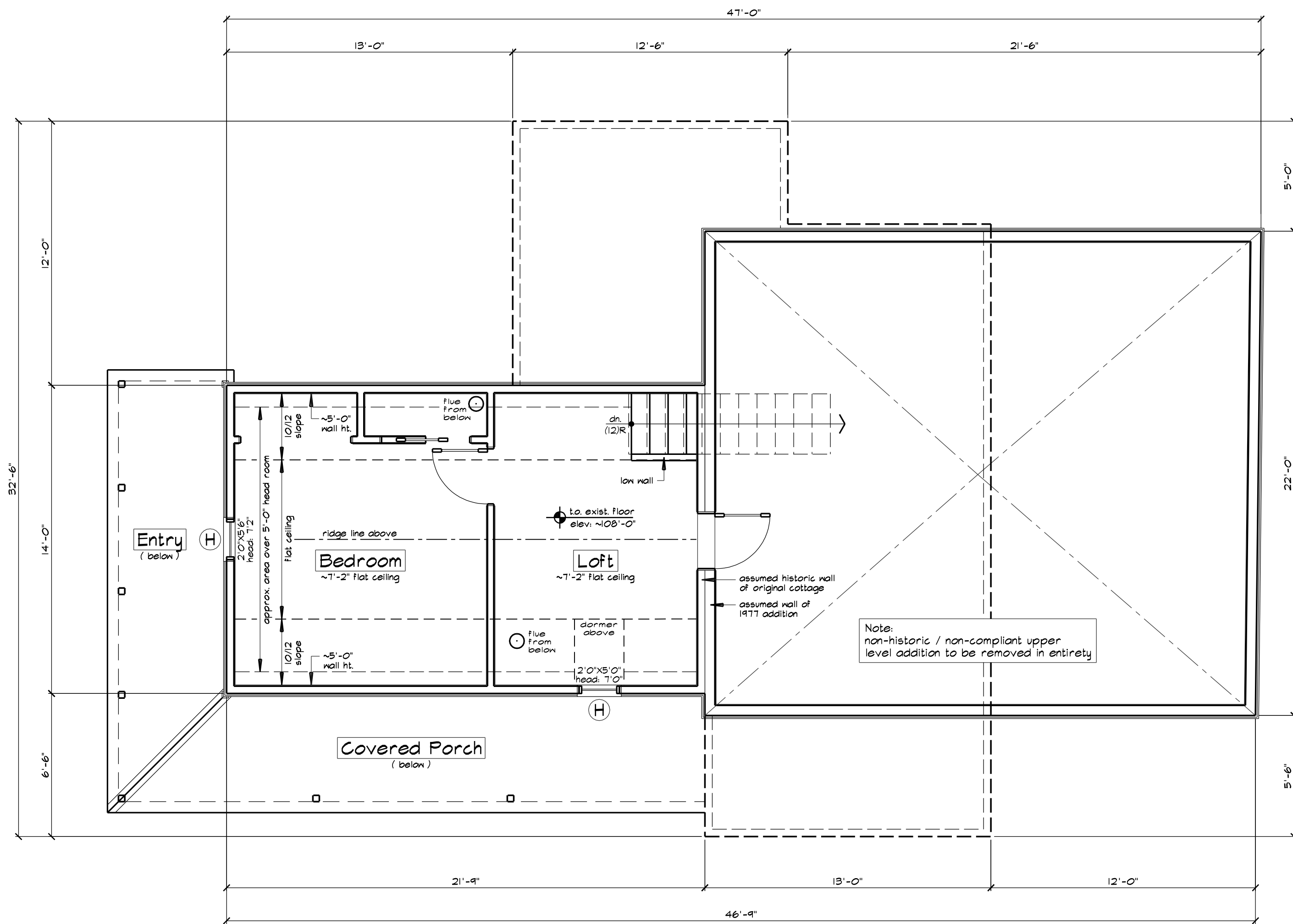
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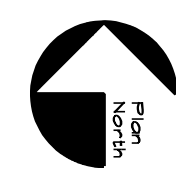
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A-7





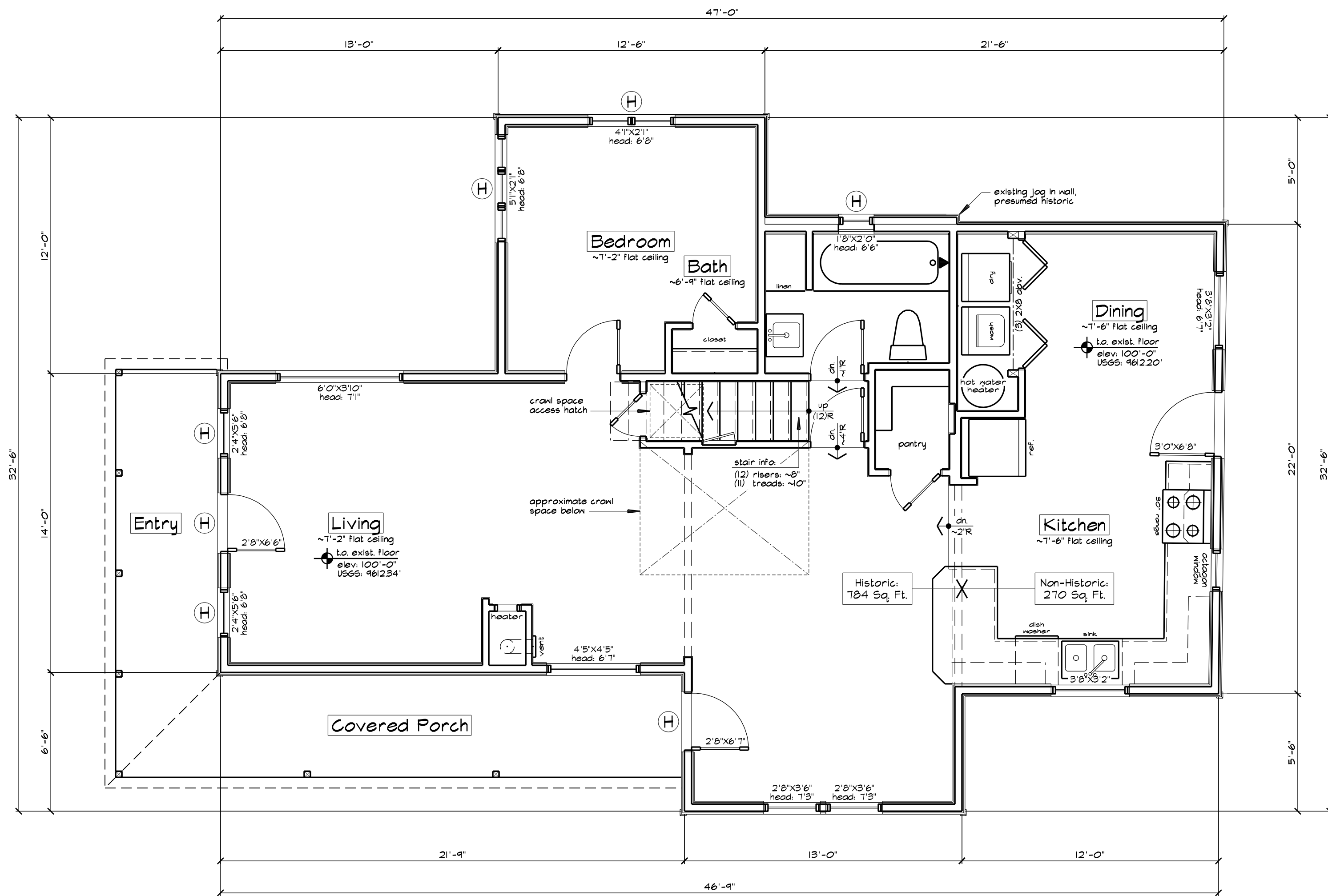
As-Built Conditions



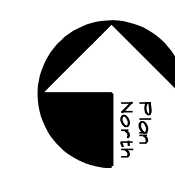
Upper Level Floor Plan

Scale: 1/4" = 1'-0"

Non-Historic Upper Level Sq. Ft. = 554
Historic Upper Level Sq. Ft. = 261
(to be removed with new proposal)



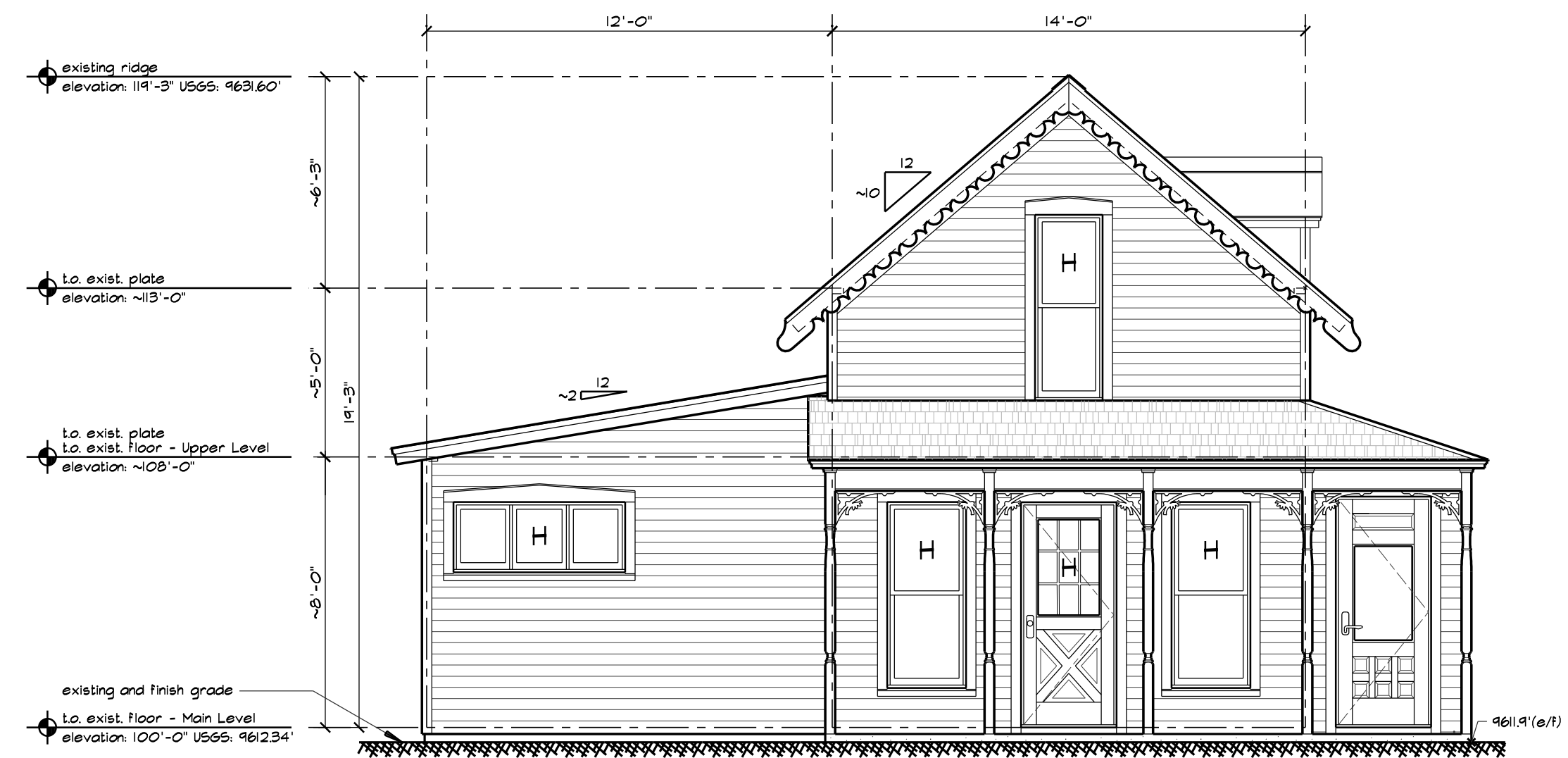
As-Built Conditions



Main Level Floor Plan

Scale: 1/4" = 1'-0"

Main Sq. Ft. Summary:
Historic = 784 Sq. Ft.
Non-Historic = 270 Sq. Ft.
Total = 1,054 Sq. Ft.



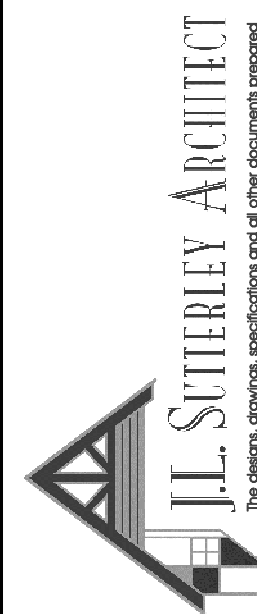
Historic Condition - West Elevation

Scale: 1/4" = 1'-0"

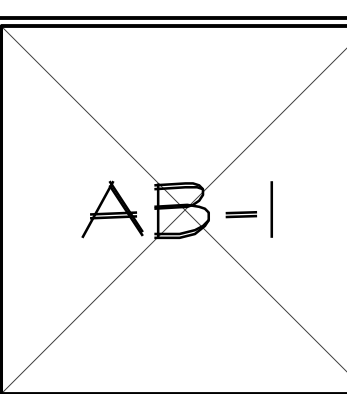
As-Built Conditions
Floor Plans,
West Elevation

Scale: 1/4" = 1'-0"
Date: 12-18-2025

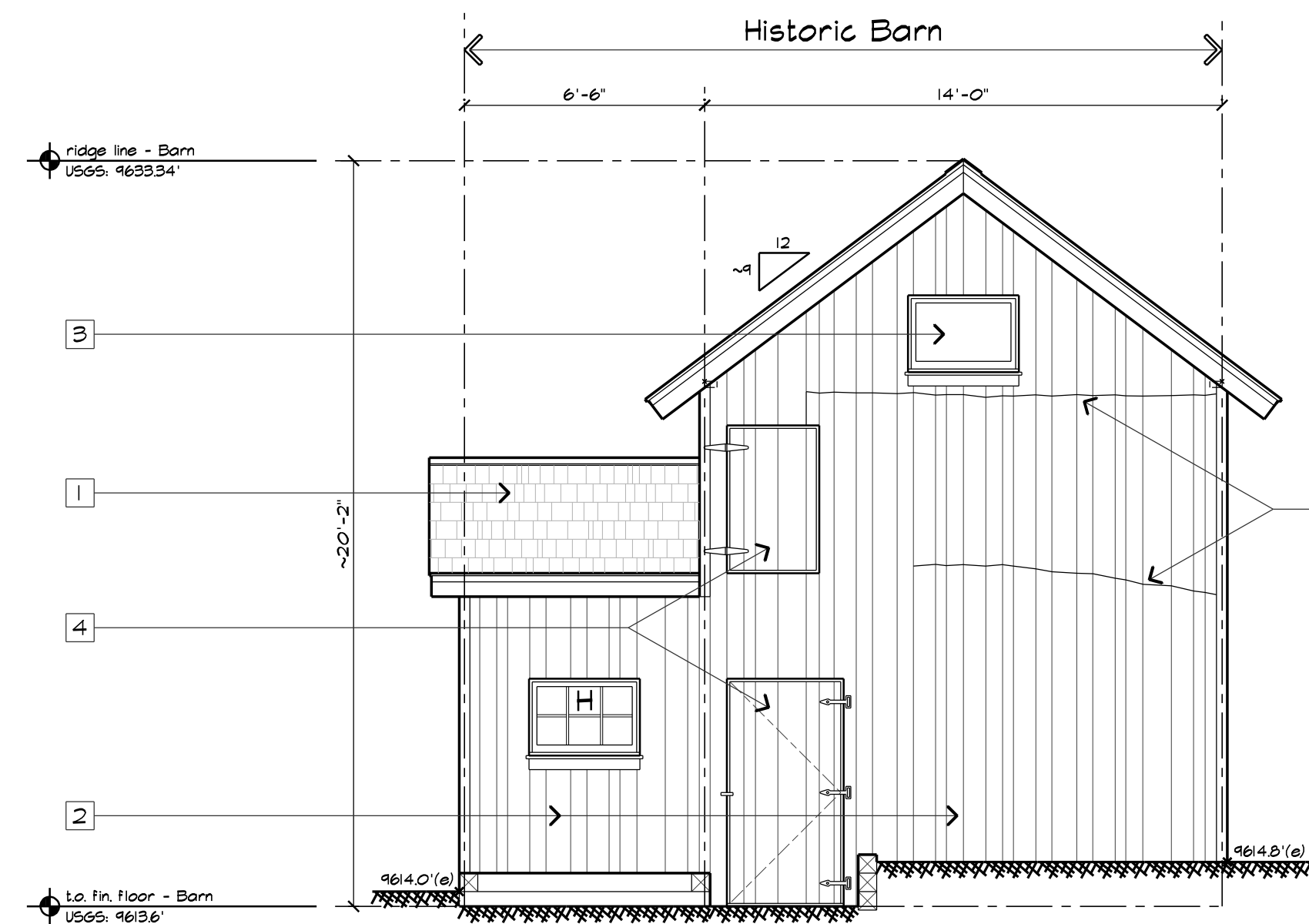
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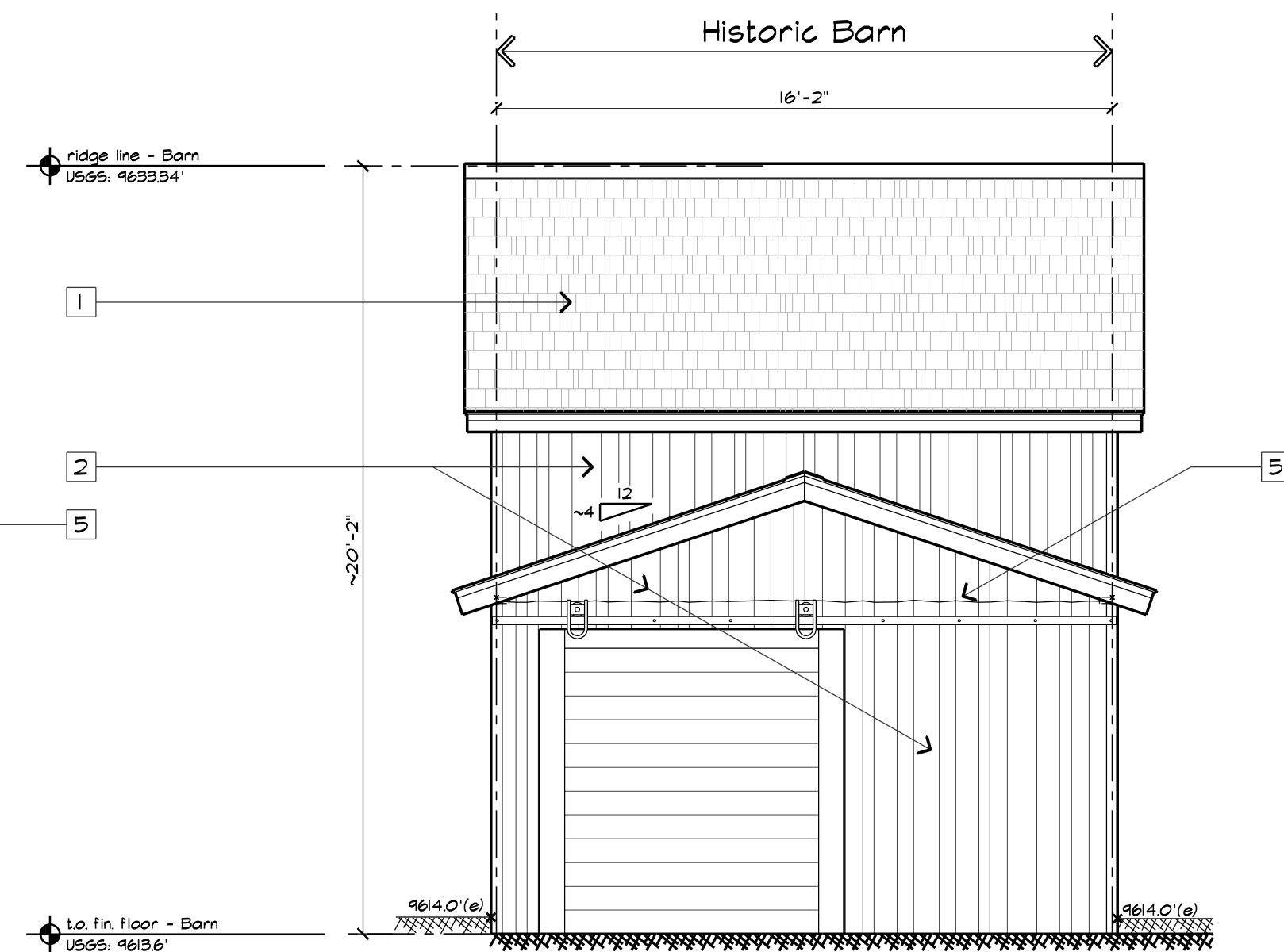
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STOUFFER HOUSE
RESTORATION / ADDITION
LOT 6, BLOCK 7, YINGLING & MICKLES ADDITION
TOWN OF BRECKENRIDGE, COLORADO



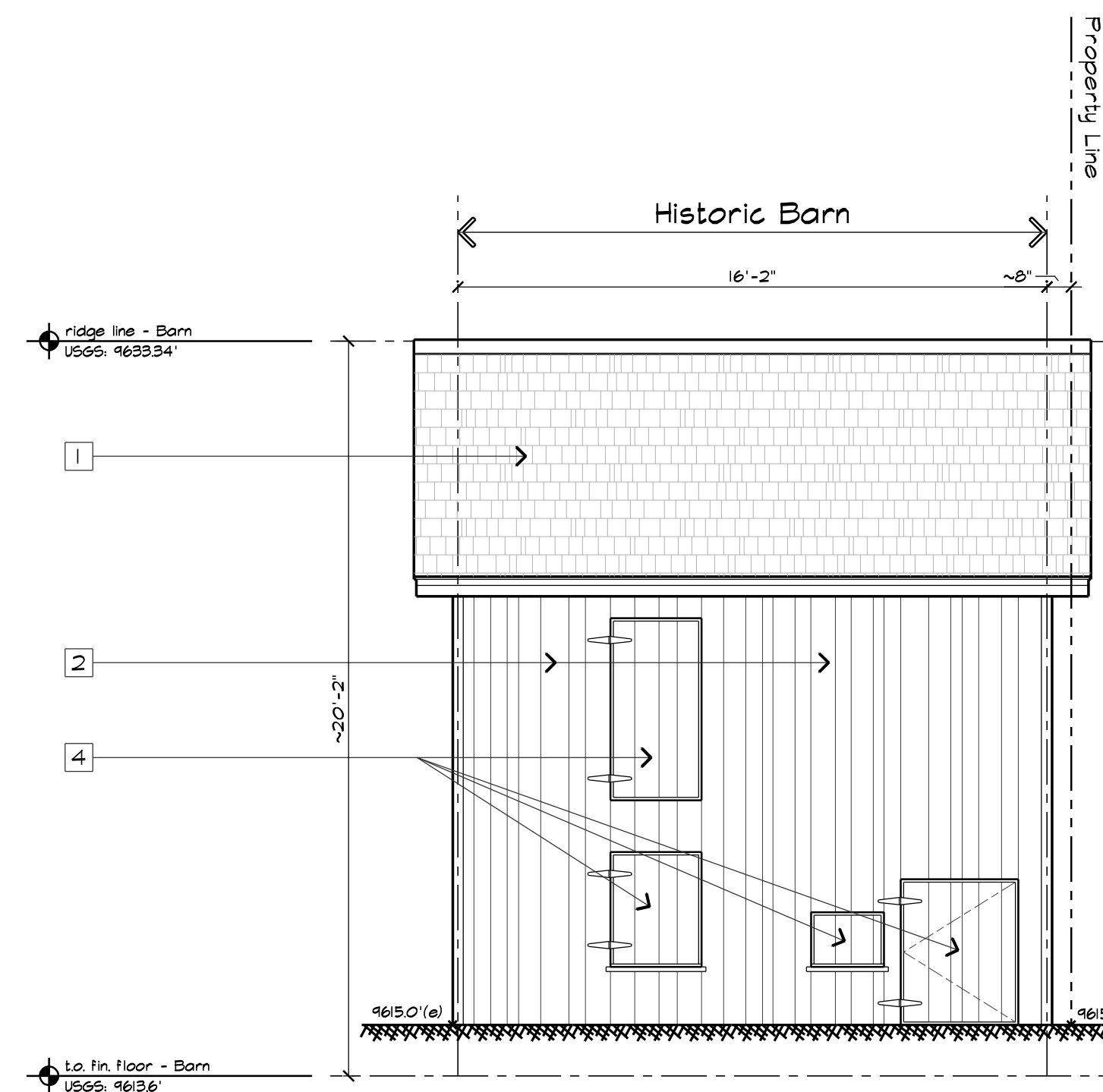
Barn South Elevation
Scale: 1/4" = 1'-0"



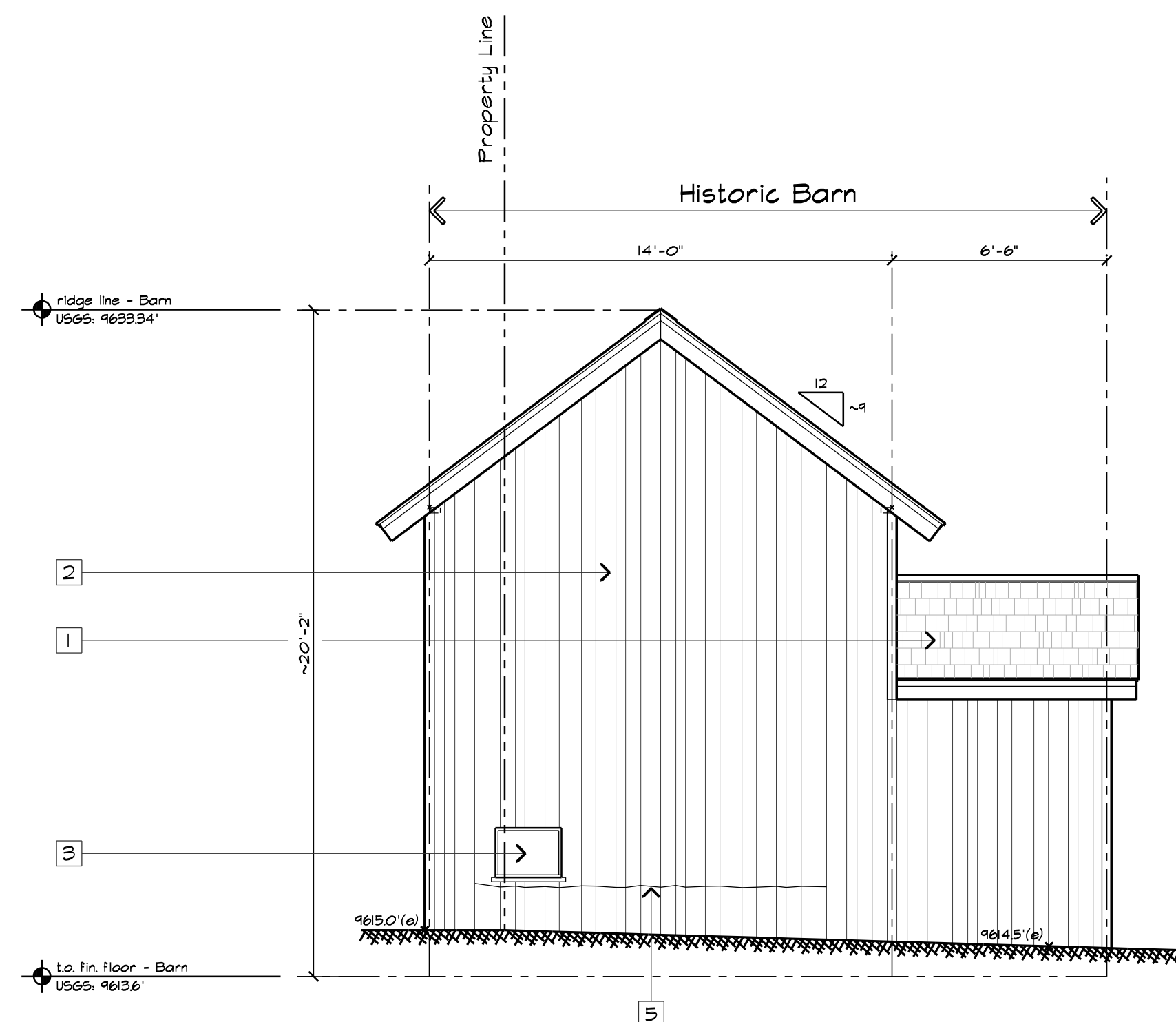
Barn West Elevation
Scale: 1/4" = 1'-0"

Key to Exterior Materials

- 1 Asphalt composite shingles (non-historic)
- 2 Random width 1x siding (historic)
- 3 Non-historic window
- 4 Historic sided openings
- 5 Siding splice lines



Barn East Elevation
Scale: 1/4" = 1'-0"



Barn North Elevation
Scale: 1/4" = 1'-0"

STOUFFER HOUSE

RESTORATION / ADDITION
LOT 6, BLOCK 7, YINGLING & MICKLES ADDITION
TOWN OF BRECKENRIDGE, COLORADO

As-Built Conditions
Historic Barn:
Exterior Elevations

Scale: 1/4" = 1'-0"
Date: 01-14-2026

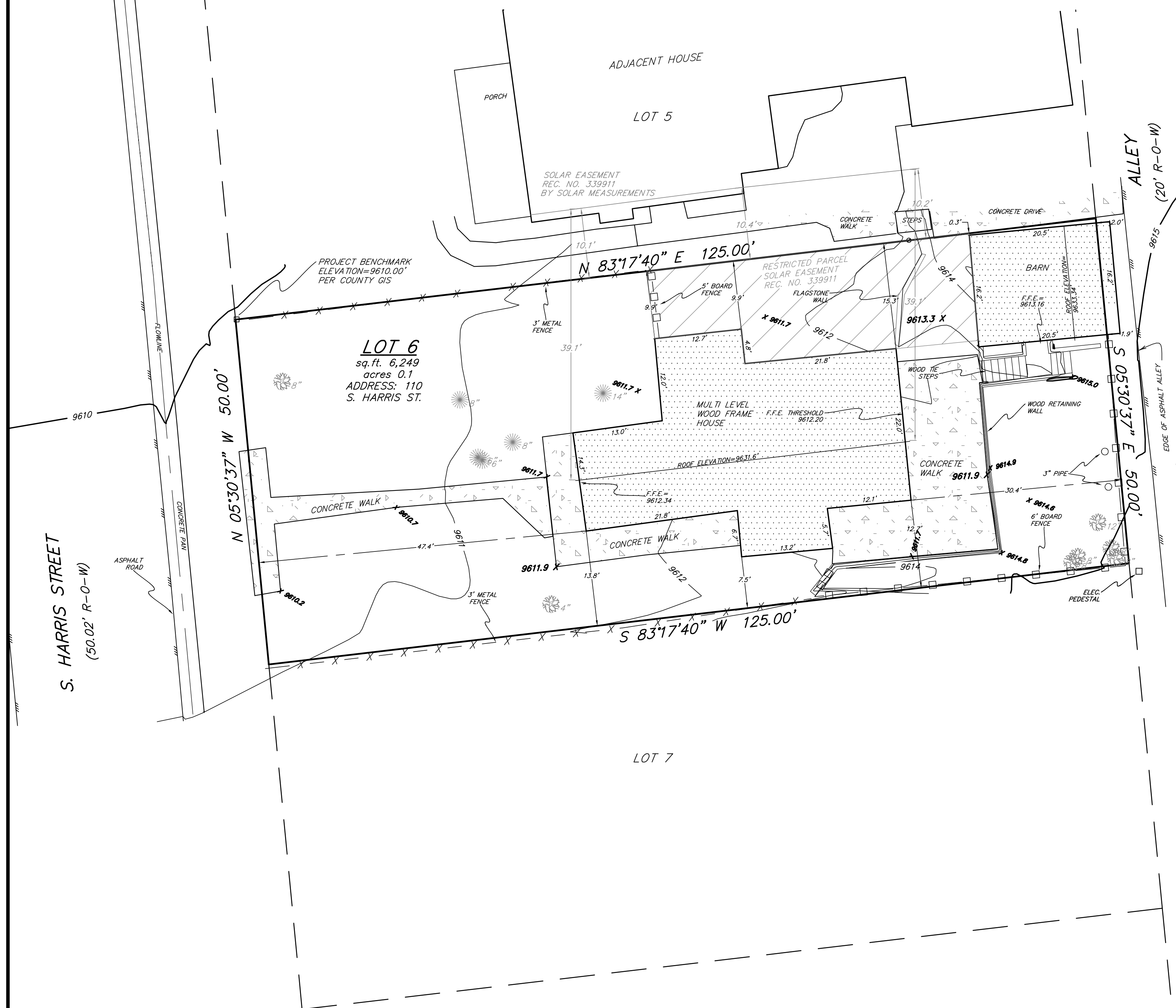
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AB-2

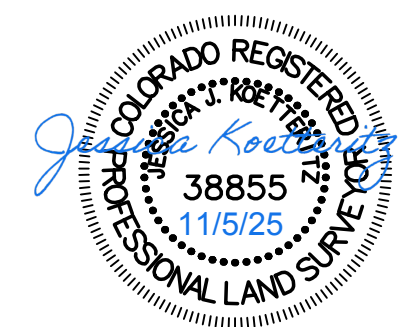
A TOPOGRAPHIC MAP OF
LOT 6, BLOCK 7, YINGLING & MICKLES
TOWN OF BRECKENRIDGE, SUMMIT COUNTY, COLORADO



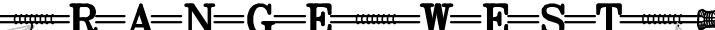
DATE OF FIELD SURVEY: 010/29/2025
CONTOUR INTERVAL=2 FEET

LEGEND

- ☐ FOUND REBAR & PLASTIC CAP (PLS 9939)
- FOUND #4 REBAR
- WATER VALVE
- ☐ UTILITY PEDESTAL
- SEWER SERVICE STUB
-  8" ASPEN TREE WITH TRUNK DIAMETER
-  8" SPRUCE TREE WITH TRUNK DIAMETER
- X 9600.0 SPOT ELEVATION



Drawn TCB/ESH	Dwg 23130ILC	Project 23130
Checked JJK	Date 11/04/2025	Sheet 1 of 1



RANGE WEST
ENGINEERS & SURVEYORS INC.

P.O. Box 589
Silverthorne, CO 80498 970-468-6281

Stouffer House Historic Restoration

Restoration efforts outline

12.15.2025

Main Residence:

Remove non-historic non-compliant upper level and roof addition: This eliminates quite a bit of existing upper level density and mass and a massive roof incorrectly attached directly to the original historic structure.

Fully gut the remaining historic structure to the original framing and stabilize as necessary, per structural design. Review all historic framing conditions (openings, etc)

Retain all historic fabric

House to be moved or raised (TBD) to accommodate full basement foundation construction. Floor framing TBD

New structural stabilization, new mechanical and electrical systems, full insulation

Exterior restoration to include:

Restoration of historic windows and historic openings, historic trim details

Restore porch elements and remove non historic fascia bric-a-brac

New historically compliant wood siding

New roofs

Barn:

Full stabilization of historic structure, per structural design.

Barn to be temporarily moved or raised (TBD) to accommodate foundation frost walls and slab on grade

Review all historic framing conditions (openings, etc)

Retain historic fabric per drawings

Replace south wall siding (cannot be salvaged) with mixed width rough sawn vertical siding

Restore all historic openings and siding

Changes since Work Session: (changes only, not development of plans/elevations)

- Garage has been reversed in same location. This was done primarily to get stairs to upper level office to work in the limited space available.
- Site plan revised to reflect the house move to the west
- Minor roofline revision to addition roof (north) to allow for stair headroom

COLORADO CULTURAL RESOURCE SURVEY

Architectural Inventory Form

Official eligibility determination
(OAHP use only)

Date _____ Initials _____

 Determined Eligible- NR

 Determined Not Eligible- NR

Determined Eligible- SR

 Determined Not Eligible- SR

Need Data

Contributes to eligible NR District

Noncontributing to eligible NR District

I. IDENTIFICATION

- | | | | |
|----|-------------------------|---|-------------------------|
| 1. | Resource number: | 5ST.130.168 | Parcel number(s): |
| 2. | Temporary resource no.: | N/A | 2211-3134-03-005 |
| 3. | County: | Summit | |
| 4. | City: | Breckenridge | |
| 5. | Historic building name: | Stouffer House, Davenport House | |
| 6. | Current building name: | Hamilton House | |
| 7. | Building address: | 110 S. Harris Street | |
| 8. | Owner name and address: | Nancy A. Hamilton
14 Grimes Road
Old Greenwich, CT 06870 | |



Individual National Register field eligibility: **Not Eligible**

Local Landmark Eligibility Assessment:	Eligible/Contributes to National Register district

II. GEOGRAPHIC INFORMATION

9. P.M. **6** Township **6S** Range **77**
NW ¼ of NE ¼ of SE ¼ of SW ¼ of section 31
10. UTM reference (**NAD27**)
Zone **13N**; **410368** mE **4370730** mN
11. USGS quad name: **Breckenridge**
Year: **1987** Map scale: **7.5'**
12. Lot(s): **6** Block: **7**
Addition: **Yingling & Mickles Addition Sub** Year of Addition: **1892**
13. Boundary Description and Justification: **This legally defined parcel encompasses, but does not exceed, the land historically associated with this property.**

III. ARCHITECTURAL DESCRIPTION

14. Building plan (footprint, shape): **L-Shaped Plan**
15. Dimensions in feet: **1681 square feet**
16. Number of stories: **1½**
17. Primary external wall material(s): **Wood/Horizontal Siding**
18. Roof configuration: **Gabled Roof/Front Gabled Roof**
19. Primary external roof material: **Asphalt Roof/Composition Roof**
20. Special features: **Porch, Dormer**

21. General architectural description:

This building consists of an original 1½-story front gabled dwelling, a large, older, two-story saltbox-roofed addition to the east (rear) elevation, a small older shed-roofed addition the south elevation, and a small low shed-roofed addition to the north elevation. The house is supported by a low concrete foundation and its exterior walls are clad with stained brown horizontal wood siding, with green 1" by 4" corner boards. The front-gable roof of the original dwelling is steeply pitched, while the saltbox roof over the rear addition is moderately pitched. The roof is covered with green asphalt composition shingles, and the eaves are boxed with painted green wood trim. Painted green vergeboard appears in the upper gable end on the west elevation. A narrow gabled wall dormer, with a 1/1 double-hung sash window is located on the south elevation. The original front gabled dwelling features a symmetrical façade which faces toward Harris Avenue on the west elevation. Here, a painted green wood-paneled front door, with nine upper sash lights, and with a triangular pediment, enters the home from an open front porch. The entry door is flanked on either side by a 1/1 double-hung sash window with a triangular pediment. The open front porch covers the entire façade, and wraps around to cover the west end of the south elevation. The porch features a concrete floor, painted green turned columns with decorative brackets, and a low-pitched hipped roof. A painted green and black wood-paneled door, with one upper sash light and with a triangular pediment, enters the shed-roofed addition on the south elevation from the wraparound porch. A painted green wood-paneled door, with nine upper sash lights, and covered by a painted green wood storm door, enters the east elevation of the rear saltbox

addition from a shed-roofed stoop. A 1/1 double-hung sash window penetrates the façade's upper gable end. A large single-light fixed-pane window is located at the west end of the north elevation.

22. Architectural style/building type: **Late Victorian**

23. Landscaping or special setting features:

This property is located on the east side of S. Harris Street in the block between Lincoln and Washington Avenues. The landscaping is mature with several coniferous trees.

24. Associated buildings, features, or objects:

Barn/Garage

A barn/garage is located northeast of the dwelling. This building consists of a main, 1½-story side-gabled section which measures approximately 16' N-S by 14' E-W, and a lower, single-story, gabled extension to the west elevation which measures approximately 16' N-S by 6' E-W. The main section is supported by a wood timbers on grade foundation, and its exterior walls are made of unpainted vertical wood planks. The side-gabled roof is steeply-pitched, and is covered with green asphalt composition shingles laid over 1x wood decking and 2x wood rafters. The rafter ends are exposed beneath the eaves and are covered by a painted green fascia board. A low vertical wood plank door, side-hinged with metal strap hinges, is located at the north end of the east elevation. Two other openings on the east elevation are shuttered with vertical wood planks, both side-hinged with metal strap hinges. A non-historic single-light fixed-pane window is located in the south elevation's upper gable end. A vertical wood plank and horizontal weatherboard horizontal-sliding garage door penetrates the west elevation of the gabled extension. A 6-light window penetrates the south elevation of the gabled extension.

IV. ARCHITECTURAL HISTORY

25. Date of Construction: Estimate: Actual: **1898**

Source of information: ***Summit County Journal*, August 27, 1898, p. 5.**

26. Architect: **Unknown**

Source of information: **N/A**

27. Builder/Contractor: **Unknown**

Source of information: **N/A**

28. Original owner: **Edith Stouffer**

Source of information: ***Summit County Journal*, August 27, 1898, p. 5.**

29. Construction history (include description and dates of major additions, alterations, or demolitions):

Early Breckenridge newspaper accounts and Town of Breckenridge Department of Community Development files indicate that this house was built during the summer of 1898. On August 27, 1898, the *Summit County Journal* reported: "A neat cottage is being erected by Mrs. Stouffer on the lot adjoining the Joe Bernatchie Residence. Built circa 1894, the Bernatchie house was located next door to the north. Modest additions to the historic dwelling appear to predate the 1980s.

30. Original location: **yes** Date of move(s): **N/A**

V. HISTORICAL ASSOCIATIONS

31. Original use(s): **Domestic/Single Dwelling**
32. Intermediate use(s): **Domestic/Single Dwelling**
33. Current use(s): **Domestic/Single Dwelling**
34. Site type(s): **Single Family Residence**

35. Historical background:

An August 1898 edition of the Summit County Journal announced: "A neat cottage is being erected by Mrs. Stouffer on the lot adjoining the Joe Bernatchie Residence." Edith Stouffer passed away in April of 1899. Her husband W. E. Stouffer and a ten-year-old son survived her. W. E. Stouffer ran a grocery and bakery downtown and was an owner/partner with Joe Bernatchie in the Dunkin mine, in Illinois Gulch. The couple also held interests in the Wire Patch Placer. He was also appointed Breckenridge postmaster in May of 1902. W.E. Stouffer passed away in 1932.

This house then became home to the W. L. Davenport family. Wyatt Leroy Davenport, or "Dave" as they called him, came to Breckenridge as a young boy from Sivells Bend, Texas. He married Breckenridge native Rose Lillian McAdoo, a daughter of William and Kittie McAdoo, on September 24, 1912. Four boys were born to this union--David Elzy, William Lewis, Terrence Clyde, and Orville James. "Dave" Davenport is best known for developing the Wellington mine, located in French Gulch, into one of Breckenridge's longest and biggest producers of precious metals. This large hardrock mine finally shut down in the early 1970s.

36. Sources of information:

**Oral History interviews with Edna Davenport by Rebecca Waugh, 1987.
Summit County Assessor. Residential Property Appraisal Records.
Summit County Clerk and Recorder. Plat book.
Summit County Journal. August 27, 1898, p. 5.
Summit County Journal. May 1902.
Town of Breckenridge. Department of Community Development Files.
U.S. Census Bureau records.**

VI. SIGNIFICANCE

37. Local Landmark Designation: **No** Date of designation: **N/A**

Designating authority: **N/A**

38. Applicable National Register Criteria:

A. Associated with events that have made a significant contribution to the broad pattern of our history;

B. Associated with the lives of persons significant in our past;

C. Embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or that possess high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; or

D. Has yielded, or may be likely to yield, information important in history or prehistory.

Qualifies under Criteria Considerations A through G (see Manual)

xx Does not meet any of the above National Register criteria

39. Area(s) of significance: **Not Applicable**

40. Period of significance: **Not Applicable**

41. Level of significance: **Local**

42. Statement of significance:

This property is historically significant for its association with Breckenridge's residential development dating from the time of its construction in the late 1890s. It is also architecturally significant for its gabled-L plan and Late Victorian era architectural characteristics, including such features as its bracketed turned porch columns and vergeboard in the façade's upper gable end. This property may be considered as a contributing resource within the Breckenridge Historic District.

43. Assessment of historic physical integrity related to significance:

This property displays an overall high level of integrity relative to the seven aspects of integrity as defined by the National Park Service and the Colorado Historical Society, location, setting, design, materials, workmanship, feeling and association. There are no recent additions or adverse exterior alterations to the historic residence. The integrity of setting is enhanced by the historic barn/garage.

VII. NATIONAL REGISTER ELIGIBILITY ASSESSMENT

44. National Register eligibility field assessment: **Not Eligible**

45. Is there National Register district potential? **N/A**

Discuss: **This property is located within the boundaries of the Breckenridge Historic District which was listed in the National Register of Historic Places on April 9, 1980.**

If there is N.R. district potential, is this building contributing or noncontributing? **N/A**

46. If the building is in an existing N.R. district, is it contributing or noncontributing? **Contributing**

VIII. RECORDING INFORMATION

47. Photograph numbers: **CD #1, Images 76-83**

CDs/Negatives filed at: **Town of Breckenridge
150 Ski Hill Road
Breckenridge, CO 80424**

48. Report title: **Town of Breckenridge Phase V Cultural Resource Survey**

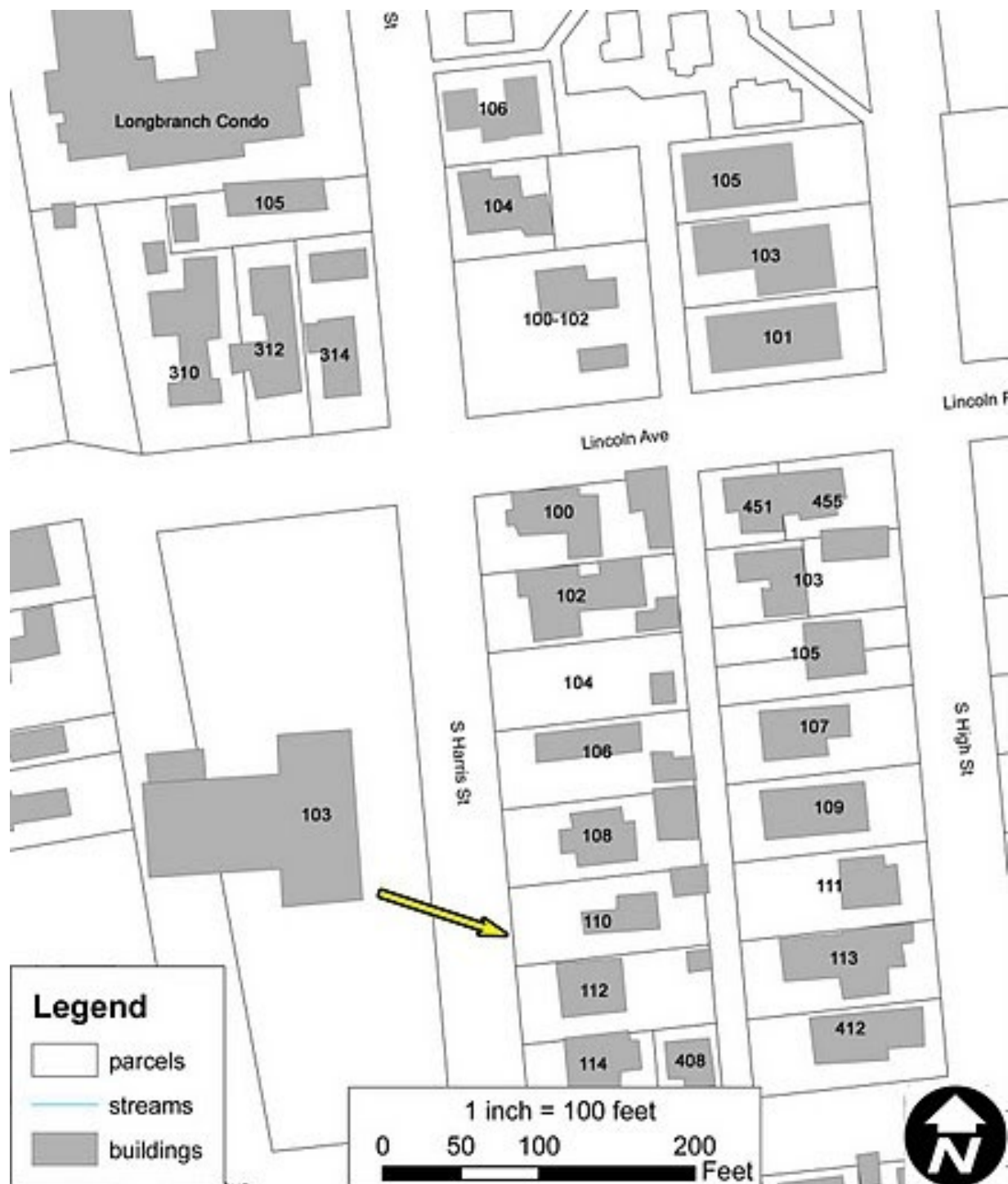
49. Date(s): **June 30, 2010**

50. Recorder(s): **Carl McWilliams, Rebecca Waugh, Timothy Wilder**

51. Organization: **Cultural Resource Historians**

52. Address: **1607 Dogwood Court, Fort Collins, CO 80525**

53. Phone number(s): **(970) 493-5270**

Sketch Map

Location Map

