



Planning Commission Regular Meeting

Tuesday, January 20, 2026, 5:30 PM

Town Hall Council Chambers

150 Ski Hill Road

Breckenridge, Colorado

The indicated times are intended only to be used as guides. The order of projects, as well as the length of the discussion for each project, is at the discretion of the Commission. We advise you to be present at the beginning of the meeting regardless of the estimated times. For further information, please contact the Planning Department at 970-547-3160.

I. CALL TO ORDER, ROLL CALL (5:30PM)

- A. LOCATION MAP
- B. APPROVAL OF MINUTES
- C. APPROVAL OF AGENDA

II. PUBLIC COMMENT ON HISTORIC PRESERVATION ISSUES (NON-AGENDA ITEMS ONLY; 3-MINUTE LIMIT PLEASE) (5:35PM)

III. TOWN PROJECTS (5:40PM)

- A. SAWMILL/WELLINGTON LOT PEDESTRIAN CONNECTION (CC), 123 N MAIN STREET, PL-2026-0002

IV. OTHER MATTERS (6:15PM)

- A. TOWN COUNCIL SUMMARY

V. ADJOURNMENT (6:30PM)



Breckenridge South



PLANNING COMMISSION MEETING

The regular meeting was called to order at 5:30 pm by Chair Propper.

ROLL CALL

Mike Giller	Mark Leas	Allen Frechter	Matt Smith
Ethan Guerra	Elaine Gort	Susan Propper	

APPROVAL OF MINUTES

With no changes, the December 2, 2025 Planning Commission Minutes were approved.

APPROVAL OF AGENDA

With no changes, the January 6, 2026 Planning Commission Agenda was approved.

PUBLIC COMMENT ON HISTORIC PRESERVATION ISSUES:

- None

WORK SESSIONS:

1. Dark Sky Program Overview

Ms. Muncy gave an update on the exterior lighting initiative, including the planned approach to monitor compliance after the recent compliance deadline of January 2, 2026. Ms. Muncy shared a map that showed lighting levels within Town, based on readings taken at ten different light monitoring locations.

Commissioner Questions / Comments:

Mr. Frechter: Where is the light monitoring location in the Wellington? (Ms. Muncy: It is by the visitor parking in Lincoln Park.)

Mr. Smith: How many sampling events were used to collect this data? (Ms. Muncy: Roughly five different reading cycles since March 2023. Ideally this occurs near a new moon, when skies are clear, and after sunset. Readings are taken within a two-hour window; it can be a challenge to get the stars to align.) Is this your baseline? (Ms. Muncy: We are still working on developing a baseline. Looking at the data as a whole, we do not have a conclusive trend yet. Holiday lighting will impact the readings during the winter, but we will look at the data. We will need to compare readings against the same season or month rather than the year as a whole.)

Mr. Kulick: Is there a difference between a ground with snow or a ground without snow. (Ms. Muncy: Yes, since the snow reflects light, it plays into it.)

Ms. Gort: What about holiday lights? (Ms. Muncy: Yes, the holiday lights can affect the readings.)

Mr. Truckey: Have we seen a change in the numbers? (Ms. Muncy: We have not reviewed the data set comparing the same season yet. The lighting level changes per season. Collecting more data, comparing each season, rather than comparing the year as a whole, and analyzing that way will be important.)

Ms. Gort: Is it at a certain time of the night the readings are taken? (Ms. Muncy: Each time it is a total of six readings, one to calibrate and five to track the actual night sky reading, we use the average of the five. One set of readings per location. It takes about two hours to complete a night of readings.)

Mr. Guerra: Thank you for doing the work, Ellie. I appreciate it.

Ms. Propper: Did you get a bunch of HOA requests for presentations? (Ms. Muncy: We did a special presentation to the Highlands HOAs, other HOAs have not reached out. A lot of the same property management companies work with most of the HOAs. Once we reached those HOAs, they were hopefully able to disseminate the information to the property owners.)

OTHER MATTERS:

1. Town Council Summary
2. Class D Majors Q4 2025 (Memo Only)
3. Class C Subdivisions Q4 2025 (Memo Only)

ADJOURNMENT:

The meeting was adjourned at 5:49 pm.

Susan Propper, Chair

Town Project Staff Report

Subject:	Sawmill/Wellington Lot Pedestrian Connection Town Project (PL-2026-0002)
Date:	January 15, 2026 (for the meeting of January 20, 2026)
Proposal:	Town Project proposal to improve the pedestrian connection from the South Gondola parking lot and structure to Main Street. These improvements will include creating a pedestrian pathway, crosswalk across the alley, public gathering areas with furniture, and additional landscaping through the Sawmill and Wellington parking lots. This project is part of the Blue River Pathways Master Plan.
Project Manager:	Clif Cross, Planner II
Property Owner:	Town of Breckenridge
Applicant:	Shannon Smith, Public Works Department
Address:	123 N. Main Street
Legal Description:	Lot 71, 72, 73, 74 Bartlett & Shock Sub
Land Use District:	19 - Commercial (1:1 FAR) Residential (20 UPA)
Site Area:	0.45 acres (19,602 sq. ft.)
Site Conditions:	The existing site, known as the Wellington Parking Lot, is comprised of 45 paved surface parking spaces with a U-shaped drive isle for internal circulation. The site has a variety of landscaping within the center island and on the edges of the parking lot. Vehicular access is only through the alleyway. Pedestrians are currently guided in a convoluted way from the Main Street sidewalk to meander through the Wellington Lot surface parking to a crosswalk at the alleyway and eventually to Sawmill Lot and beyond to the pedestrian plaza and parking lot on the South Gondola Lot.
Adjacent Uses:	North: Mixed used (Commercial and Residential) South: Nonresidential land with historic properties East: North Main Street Right-of-Way West: Alleyway and Parking facilities

Background

Implementing the Blue River Pathways Master Plan is a major initiative within the Town's Capital Improvement Plan for the upcoming years. The Master Plan seeks to revitalize the Blue River corridor and improve downtown alleyways between North French Street and South Park Avenue. The primary objectives include enhancing safety, improving bicycle and pedestrian connectivity, advancing placemaking efforts, and supporting river health.

This phase of the project, the Sawmill/Wellington Lot Pedestrian Connection, focuses specifically on pedestrian connectivity and safety improvements. The project proposes the construction of a formalized pathway that will extend from the existing pedestrian bridge near the South Gondola Parking Structure through the Sawmill and Wellington Parking Lots, ultimately connecting to North Main Street. This corridor serves as a critical link between major parking lots, the Breckenridge Transit Center, and the core of Town. The area currently experiences high pedestrian volumes year-round, with peak activity during the summer months.

In previous years, low-cost temporary improvements were installed to test design concepts and address safety concerns as a “Living Lab” program. These improvements included crosswalk striping and the use of painted barricades to guide pedestrians more directly along the east-west corridor toward North Main Street (see aerial reference below). The temporary measures served as a proof of concept and demonstrated the need for a permanent, enhanced pedestrian connection.

The proposed permanent improvements include:

- A new 23-foot-wide sidewalk to accommodate high pedestrian volumes.
- Removal of north Wellington Lot parking spaces to avoid pedestrian conflicts.
- Crosswalk and ADA ramp enhancements to improve accessibility.
- Installation of dark sky lighting fixtures for safety and visibility.
- Drainage improvements to manage stormwater effectively.
- Landscaping enhancements to create a more inviting and aesthetically pleasing corridor.

Additional wayfinding signage will be implemented as a future, separate project to improve navigation for both residents and visitors. Public gathering areas with seating and additional landscaping will be incorporated throughout the Sawmill and Wellington parking lots to create welcoming spaces and encourage pedestrian activity. These improvements will strengthen the connection between the South Gondola parking facilities and Main Street, supporting the Town Council’s goal for a more walkable community.



Policy Discussion

This is a Town Project pursuant to the ordinance amending the Town Projects Process (Council Bill No. 1, Series 2013). As a result, the Planning Commission is asked to review the project for general compliance with the development code, identify any concerns with this project, and any code issues. In addition, the Commission is asked to make a recommendation to the Town Council. Staff has reviewed the proposal against the Development Code and provides the following discussion on the applicable policies.

Land Use (Policies 2/A & 2/R): The proposed pedestrian improvements are consistent with the existing pedestrian areas and connections encouraged by LUD 19. Staff has no concerns with the continued and expanded use.

Snow Removal and Storage (13/A): The reduction of the paved surface lots decreases the amount of area that requires snow removal. Additionally, the revegetated areas will serve as snow storage areas for snow removal operations along the pedestrian connection and parking lot. Staff has no concerns regarding snow removal or storage.

Access / Circulation (16/A & 16/R; 17/A & 17/R): The project seeks to provide improved pedestrian connections between major parking lots, the Breckenridge Transit Center, and the core of Town. The connectivity through the parking lots is improved with a new 23-foot wide sidewalk and crosswalk improvements. Additional enhancements include ADA compliant ramps and improved lighting which further improve connectivity, circulation, and safety.

Vehicular circulation may be negatively impacted by the removal of the u-shape circulation of the existing parking spaces and drive aisles. The redesign will create a dead-end scenario for vehicles looking for parking within the down-sized Wellington Lot. Staff does not have any concerns as the improvements are improving the access and circulation for pedestrians which is a Council Goal.

Projects which have received positive three (+3) points for improving access and circulation for pedestrians in the recent past:

2025- BGV Imperial Hotel Pedestrian Access (+3)

2022- CMC Student Housing Sidewalk Development (+3)

2022- Vista Verde II (Alta Verde II) Recreation Path Access (+3)

Considering the permanent improvements propose to improve safety, access, and circulation, staff recommends positive three (+3) points under [Policy 16R](#) for pedestrian oriented development. Does the Commission concur?

Parking (18/A): The existing Wellington Lot has 45 parking spaces spread across the north and south portions, which respectively have 23 and 22 parking spaces. The proposed improvements would decrease the amount of parking by 26 parking spaces to 19 parking spaces at the southern end of the lot. Although this is a decrease in parking, staff has no concerns due to the large number of spaces provided on the adjacent Sawmill and South Gondola Lots which provide both surface and covered public parking spaces. Additionally, the proposed parking lot will comply with Title 9, Chapter 3: Off Street Parking of the Town Code, and other associated Engineering Standards.

Open Space (21/R): The project proposes to remove portions of imperious surface of the existing parking lot and revegetate to create an attractive and desirable parklet for pedestrians to connect to Main Street or use as a public gathering space. Although the project is still proposing to pave a wide pedestrian path, the project increases the amount of open space and diversity in landscaping. Staff supports the proposed pedestrian connection and new open space area.

Social Community (24/R): The Town Council has identified [strategic goals](#) for the community within the Town’s Destination Management Plan. These goals help balance tourism with the lifestyle of residents in Breckenridge. The intention of this project aligns with one of the goals, “More Boots and bikes, Less Cars”; which aims to improve pedestrian access, reduce conflicts with vehicles, and encouraging more people to walk, bike, or use public transit.

Projects which have received positive three (+3) points for meeting a Council Goal in the recent past:

2024- Tiger Dredge Temporary Sprung Structure F&B Delivery Pilot (+3)
2023- BGV Gondola Lots Master Plan, French Street roundabout construction (+3)
2017- Recreation Center Tennis Building (+3)
2016- Huron Landing workforce housing apartments (+3)

As this provision of improving the pedestrian experience is an important Town Council goal, staff recommends positive three (+3) points under [9-1-19-24R\(C\)](#) for providing social services. Does the Commission agree?

Drainage (27/A & 27/R): The proposed pedestrian connection will improve the drainage in and around the site with improved grading and drainage facilities. The Engineering Department will ensure that drainage is adequate for the area and does not adversely affect adjacent parcels.

Exterior Lighting (Sec. 9-12): The Wellington and Sawmill parking lots have existing streetlamps which are proposed to be relocated and/or replaced. Staff has added a condition that all new fixtures must be downcast and compliant with the lighting standards.

Point Analysis (Section: 9-1-17-3): Staff believes that all absolute policies have been met and that the proposal warrants the following points under the relative policies for a total passing point analysis of positive six (+6) points.

Positive points are awarded for:

- Policy 16/R Internal Circulation: Positive three (+3) points for improving the pedestrian safety, access, and circulation through Sawmill/Wellington Parking Lots.
- Policy 24/R Social Community: Positive three (+3) points for meeting the Council Goal #3: “More boots and bikes, Less Cars” by improving the pedestrian connection through Sawmill/Wellington Parking Lots.

Questions for the Commission

Based on staff’s recommendations, we have the following questions for the Commission:

1. Interior Circulation (Policy 16R) – Does the Commission support awarding positive three (+3) points for interior circulation based on past precedent?
2. Social Community (Policy 24R) - Does the Commission support awarding positive three (+3) points for meeting a Council goal based on past precedent?

Staff Recommendation

Finding the project in compliance with all applicable policies of the Development Code and assigning a passing score of positive six (+6) points, staff suggests the Planning Commission recommend the Town Council approve the Sawmill/Wellington Lot Pedestrian Connection Town Project (PL-2026-0002), located at 123 N Main Street, along with the attached Findings and Conditions of Approval.

TOWN OF BRECKENRIDGE

Sawmill/Wellington Lot Pedestrian Connection Town Project
Lot 71, 72, 73, 74 Bartlett & Shock Sub
123 N. Main Street
PL-2026-0002

FINDINGS

1. This project is “Town Project” as defined in Section 9-4-1 of the Breckenridge Town Code because it involves the planning and design of a public project.
2. The process for the review and approval of a Town Project as described in Section 9-14-4 of the Breckenridge Town Code was followed in connection with the approval of this Town Project.
3. The Planning Commission reviewed and considered this Town Project on **January 20, 2026**. In connection with its review of this Town Project, the Planning Commission scheduled and held a public hearing on January 20, 2026, notice of which was published on the Town’s website for at least five (5) days prior to the hearing as required by Section 9-14-4(2) of the Breckenridge Town Code. In addition to posting on the Town’s website, notice of the planning commission’s public hearings on a proposed town project shall be given in the same manner as is required for a final hearing on a Class A development permit application pursuant to chapter 1 of this title. Failure of a person to receive the notice described in this section shall not impair the validity of the planning commission’s public hearing on a proposed town project, or the planning commission’s recommendation to the town council with respect to such proposed town project. Because the process of reviewing and approving a town project is discretionary and administrative, and not quasi-judicial, any member of the town council may properly attend the planning commission’s public hearing(s) and deliberations with respect to a proposed town project. At the conclusion of its public hearings, the Planning Commission recommended approval of this Town Project to the Town Council. At the conclusion of its public hearing, the Planning Commission recommended approval of this Town Project to the Town Council.
4. The Town Council’s final decision with respect to this Town Project was made at the regular meeting of the Town Council that was held on **January 27, 2026**. This Town Project was listed on the Town Council’s agenda for the January 27, 2026 agenda that was posted in advance of the meeting on the Town’s website. Before making its final decision with respect to this Town Project, the Town Council accepted and considered any public comment that was offered.
5. Before approving this Town Project the Town Council received from the Director of the Department of Community Development, and gave due consideration to, a point analysis for the Town Project in the same manner as a point analysis is prepared for a final hearing on a Class A development permit application under the Town’s Development Code (Chapter 1 of Title 9 of the Breckenridge Town Code).
6. The Town Council finds and determines that the Town Project is necessary or advisable for the public good, and that the Town Project shall be undertaken by the Town.
7. Per Town Code Section 9-14-2 Town Council Authority Over Town Projects, the Town Council has the authority, in its sole discretion, has the sole and final authority to determine all aspects of the town project, including but not limited to, its location and design. Chapters 1, 3 and 12 of this title and the

town of Breckenridge land use guidelines do not apply to town projects, but town projects shall be processed instead in accordance with the provisions of this chapter.

CONDITIONS

- 1. Applicant shall submit and obtain approval from Town staff of a cut sheet detail for all exterior lighting on the site. All exterior lighting on the site or buildings shall be fully shielded to hide the light source and shall cast light downward. All exterior lighting shall be a white color not exceeding 3,000 kelvins.**

BRECK PATHWAYS SAWMILL PEDESTRIAN CONNECTION

Breckenridge, Colorado

DESIGN DEVELOPMENT

OWNER

TOWN OF BRECKENRIDGE
1095 AIRPORT ROAD
BRECKENRIDGE, CO, 80424
SHANNON SMITH
970.453.3196

LANDSCAPE ARCHITECT

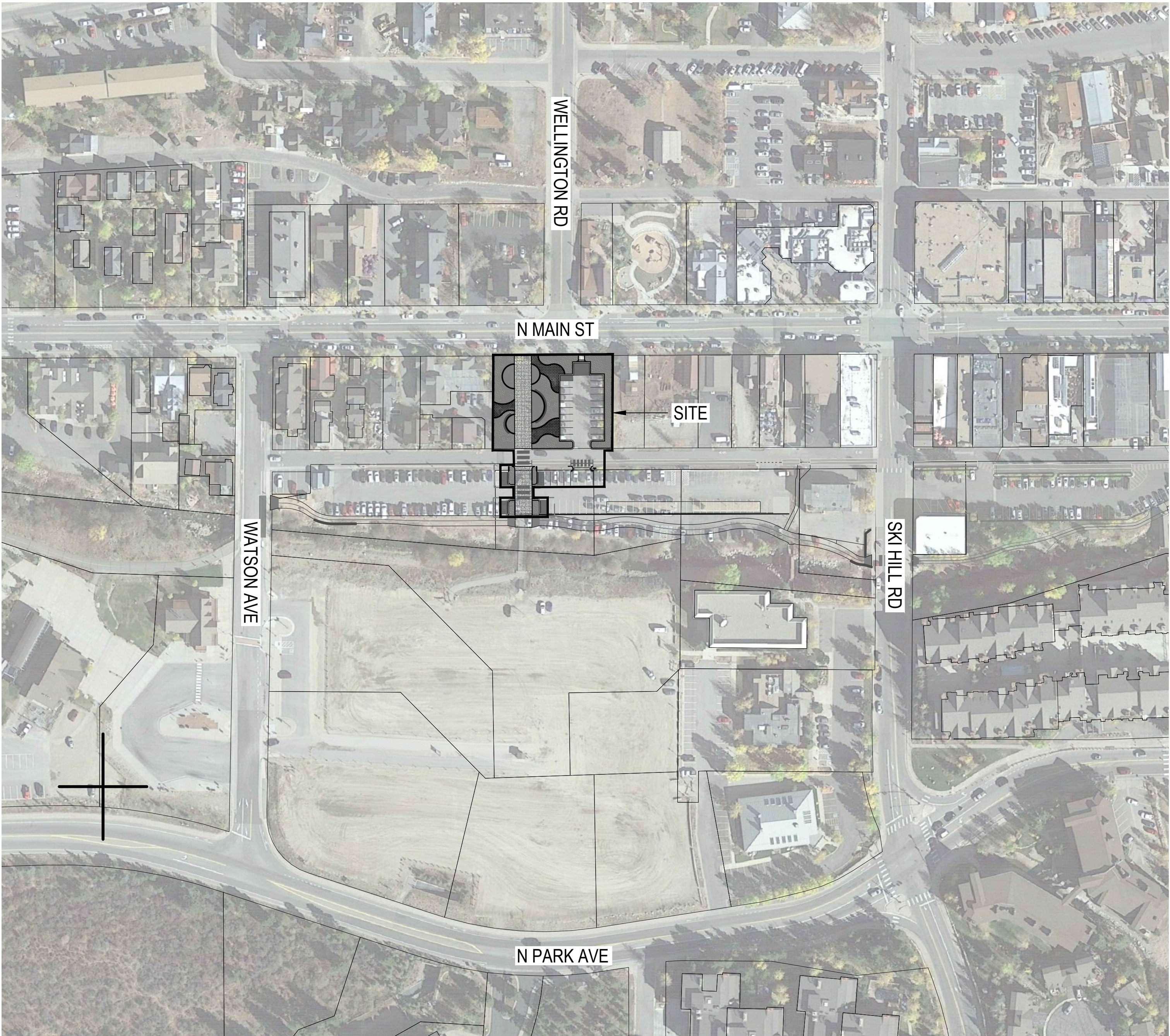
**NORRIS
DESIGN**
PEOPLE + PLACEMAKING

409 MAIN STREET
SUITE 207
P.O. BOX 2320
FRISCO, CO 80443
P 970.368.7068
NORRIS-DESIGN.COM

ISSUE DATES

05/05/2025 - DESIGN DEVELOPMENT

KEY MAP



SHEET INDEX

G-001	COVER SHEET
LP-001	LANDSCAPE NOTES
LP-002	LANDSCAPE SCHEDULES
LP-101	LANDSCAPE PLAN
LP-501	LANDSCAPE DETAILS
LP-502	LANDSCAPE DETAILS

COVER
SHEET

G-001



CHECKED BY: TA, ES
DRAWN BY: EN

GENERAL NOTES

1. THE CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF ANY WORK SHOWN ON THESE PLANS.
2. THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
3. DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
4. VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
5. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
6. SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
7. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
8. IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
9. CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
10. CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
13. UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
14. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
16. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
17. SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.
18. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
19. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
20. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
22. THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
23. MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
24. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
25. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.

26. THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
27. THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
28. THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
29. THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE IS PROHIBITED.
30. OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
31. DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS, DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS, DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
32. MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF ACCESS.
33. LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

PAVING NOTES

1. THE CONTRACTOR SHALL INSTALL OR COORDINATE INSTALLATION OF SLEEVING FOR IRRIGATION AND UTILITY IMPROVEMENTS PRIOR TO INSTALLING ALL PAVING. REFER TO IRRIGATION AND UTILITY PLANS FOR SIZE AND LOCATIONS.
2. CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SUB-GRADE COMPACTION UNDER PAVED AREAS. REFER TO PLANS, DETAILS, SPECIFICATIONS OR GEOTECHNICAL REPORTS WHICH IDENTIFY COMPACTION REQUIREMENTS. COORDINATE ALL COMPACTION TESTING WITH OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPLACEMENT OF ANY PAVING THAT CRACKS OR MOVES RESULTING FROM IMPROPER COMPACTION.
3. CURVED WALKS AND CURB EDGES ARE INTENDED TO BE CONSTRUCTED WITH SMOOTH FLOWING CURVES. ANYTHING OTHER THAN SMOOTH FLOWING CURVES WILL BE REJECTED AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
4. LAYOUT ALL SURFACING, SCORE JOINTS AND PAVING PATTERNS AS CLOSELY AS POSSIBLE TO PLANS, DETAILS, AND SPECIFICATIONS. DO NOT DEVIATE FROM PLANS UNLESS SPECIFIC APPROVAL IS OBTAINED FROM THE OWNER'S REPRESENTATIVE.
5. CONTRACTOR SHALL COORDINATE A FORM INSPECTION WITH THE OWNER'S REPRESENTATIVE NO LESS THEN 24 HOURS PRIOR TO PLACEMENT OF ANY SURFACING.
6. CONCRETE EDGES, SAW CUTS AND/OR TROWELED SCORE JOINTS SHALL BE CRISP, CLEAN, COMPLETE AND NEAT IN APPEARANCE. LOCATE ALL JOINTS AS IDENTIFIED ON THE PLANS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
7. ALL EXPOSED PAVING SHALL BE FINISHED PER DETAILS.
8. CONTRACTOR SHALL PROVIDE ALL PROTECTION AND FACILITIES NECESSARY TO INSURE PROPER CURING AND FINISH OF PAVING.

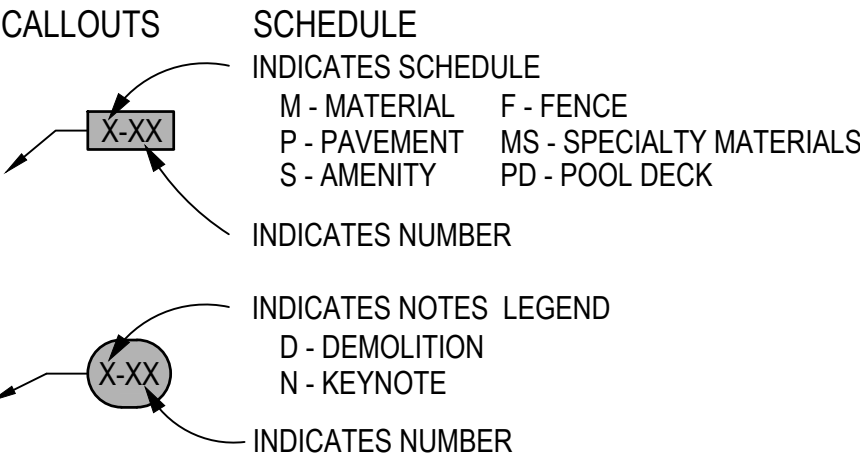
LAYOUT NOTES

1. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
2. SHOULD SITE CONDITIONS BE DIFFERENT THAN WHAT IS INDICATED ON THE DRAWINGS CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
3. CURVED WALKS AND CURB EDGES ARE INTENDED TO BE CONSTRUCTED WITH SMOOTH FLOWING CURVES. ANYTHING OTHER THAN SMOOTH FLOWING CURVES WILL BE REJECTED.
4. THE CONTRACTOR SHALL OBTAIN, AT THEIR EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
5. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING WHO WILL PROVIDE SURVEY SERVICES FOR LAYOUT OF THE WORK.
6. THE CONTRACTOR SHALL REVIEW WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT ALL STAKING PRIOR TO SETTING FORMS OR COMPLETING FLATWORK AND PERFORM MINOR MODIFICATIONS AS REQUIRED TO ACHIEVE PROPER DRAINAGE OR ACCESSIBILITY AS REQUIRED FOR THE DESIGN, AT NO ADDITIONAL COST TO THE OWNER.
7. THE CONTRACTOR SHALL INSTALL SLEEVING FOR IRRIGATION IMPROVEMENTS PRIOR TO INSTALLING CONCRETE FLATWORK. REFER TO IRRIGATION PLANS.
8. LAYOUT WALKS, SCORE JOINTS AND PAVING PATTERNS AS CLOSELY AS POSSIBLE TO PLANS, DETAILS, AND SPECIFICATIONS. DO NOT DEVIATE FROM PLANS UNLESS SPECIFIC APPROVAL IS OBTAINED FROM THE OWNER'S REPRESENTATIVE.
9. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK. SEE TECHNICAL SPECIFICATIONS.
10. WHEN APPLICABLE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY FENCING AROUND ALL PLAY STRUCTURES UNTIL PROPER FALL SURFACE IS COMPLETELY INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
11. CONTRACTOR IS RESPONSIBLE FOR SUPERVISING ALL SAFETY SURFACING AND PAVEMENT DURING THE CURING PROCESS.

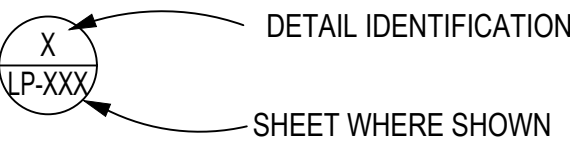
ABBREVIATIONS

&	AND	INSUL	INSULATION
@	AT	IN	INCH
Ⓢ	CENTERLINE	INT	INTEGRAL
⊙	DIAMETER OR ROUND	INV	INVERT
#	POUND OR NUMBER	JST	JOIST
		JNT	JOINT
AB	ANCHOR BOLT		
AD	AREA DRAIN		
ADDM	ADDENDUM	KJ	KEYED JOINT
ADJ	ADJUSTABLE		
AGG	AGGREGATE	LP	LOW POINT
ALUM	ALUMINUM	LF	LINEAL FEET
ALT	ALTERNATE	LBS	POUNDS
APPROX	APPROXIMATE	MAX	MAXIMUM
ASPH	ASPHALT	ME	MATCH EXISTING
ARCH	ARCHITECT(URAL)	MECH	MECHANICAL
		MEMB	MEMBRANE
BOC	BACK OF CURB	MED	MEDIUM
BW	BOTTOM OF WALL	MET	METAL
BS	BOTTOM OF STAIR	MFG	MANUFACTURER
BEV	BEVEL	MH	MANHOLE
BITUM	BITUMINOUS	MID	MIDDLE
BLDG	BUILDING	MIN	MINIMUM
BM	BENCHMARK	MIR	MIRROR
BRKT	BRACKET	MISC	MISCELLANEOUS
BOT	BOTTOM	MTD	MOUNTED
BSMT	BASEMENT	MTG	MOUNTING
BTWN	BETWEEN		
BRLP	BURLAP	N	NORTH
		NIC	NOT IN CONTRACT
		NO, #	NUMBER
		NOM	NOMINAL
		NTS	NOT TO SCALE
		OA	OVERALL
		OC	ON CENTER
		OPP	OPPOSITE
		OH	OVERHEAD
		PA	PLANTING AREA
		PC	POINT OF CURVATURE
		PL	PROPERTY LINE
		PLBG	PLUMBING
		PLNTG	PLANTING
		PNL	PANEL
		POL	POLISHED
		PR	PAIR
		PRCST	PRECAST
		PSI	POUNDS PER SQUARE INCH
		PT	POINT OF TANGENCY
		PTD	PAINTED
		PVC	POLYVINYL CHLORIDE
		PVMT	PAVEMENT
		RAD	RADIUS
		REF	REFERENCE
		REINF	REINFORCING
		REQ	REQUIRED
		RESIL	RESILIENT
		ROW	RIGHT OF WAY
		S	SOUTH
		SC	SCALE
		SCHD	SCHEDULE
		SCRN	SCREEN
		SECT	SECTION
		SF	SQUARE FOOT (FEET)
		SHT	SHEET
		SG	SUBGRADE
		SQ	SQUARE
		SST	STAINLESS STEEL
		STA	STATION
		STD	STANDARD
		STL	STEEL
		STRC	STRUCTURAL
		SY	SQUARE YARD
		SYM	SYMMETRICAL
		TC	TOP OF CURB
		TS	TOP OF STEP/SEAT
		TW	TOP OF WALL
		TYP	TYPICAL
		VAR	VARIES
		VERT	VERTICAL
		W	WEST
		W/	WITH
		WID	WIDTH
		WL	WATER LEVEL
		W/O	WITHOUT
		WT	WEIGHT
		WWM	WELDED WIRE MESH

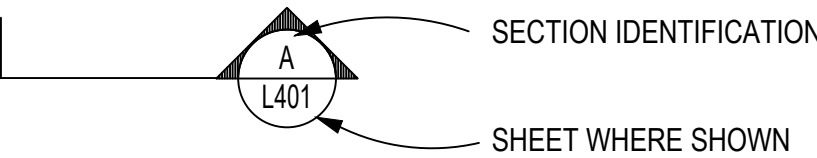
REFERENCES



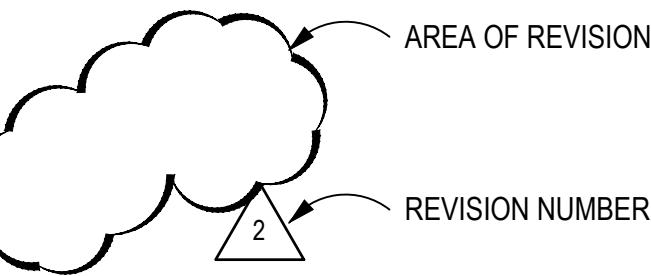
DETAIL



SECTION/ELEVATION



REVISION SYMBOL



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P.O. BOX 2320
FRISCO, CO 80443
P 970.368.7068

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SAWMILL PEDESTRIAN CONNECTION
BRECKENRIDGE, COLORADO

OWNER:
TOWN OF BRECKENRIDGE
ATTN: SHANNON SMITH
1095 AIRPORT ROAD
BRECKENRIDGE, CO 80424
970.453.3196

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CONSTRUCTION

DATE:
05/05/25 - DD

DRAFT

SHEET TITLE:
LANDSCAPE
NOTES

LP-001



CHECKED BY: T.A. ES
DRAWN BY: EN

LANDSCAPE NOTES

1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKE PRECEDENCE OVER WRITTEN QUANTITIES.
3. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
4. THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
5. THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
6. REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
7. LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
9. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
10. ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT AS NOTED IN THE MATERIAL SCHEDULE AND/OR TECHNICAL SPECIFICATIONS.
11. TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
12. THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
13. ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNERS' REPRESENTATIVE.
14. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
15. ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
16. ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS CONTAINING SPECIFIED WOOD MULCH; REFER TO MATERIAL SCHEDULE. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
17. PLANTING BEDS ARE TO BE CONTAINED BY SPECIFIED EDGER; REFER TO MATERIAL SCHEDULE. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
18. PLANTING BEDS TO BE MULCHED WITH SPECIFIED MULCH; REFER TO MATERIAL SCHEDULE.
19. AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
20. EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
21. CONTRACTOR SHALL OVER SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES AND ROADS WITH SPECIFIED SEED MIX UNLESS OTHERWISE NOTED ON THE PLANS.
22. ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
23. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
24. SOFT SURFACE TRAILS NEXT TO MANICURED TURF OR SHRUB BEDS SHALL BE CONTAINED WITH SPECIFIED METAL EDGER; REFER TO MATERIAL SCHEDULE.
25. WHEN PLANTER URNS ARE SHOWN ON PLANS, CONTRACTOR SHALL INCLUDE THE FOLLOWING: PLANTER MIX, ANNUAL FLOWER PLANTING PROGRAM (INCLUDES 2 PLANTINGS FOR THE 1ST YEAR (SPRING AND FALL) AND WINTER HAND-WATERING AS NEEDED. UNLESS OTHERWISE SPECIFIED, CONTRACTOR TO PROVIDE ANNUAL PLANTING SELECTION FOR REVIEW BY OWNER. IRRIGATION FOR PLANTERS TO BE ON SEPARATE ZONE(S). CONTRACTOR TO COORDINATE PLACEMENT OF NECESSARY SLEEVEING PRIOR TO PLACEMENT OF PAVEMENT.
26. THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY AND COUNTY SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
DECIDUOUS TREES						ORNAMENTAL GRASSES					
PO TR	3	POPULUS TREMULOIDES	QUAKING ASPEN	B & B	2.5" CAL.	DE CE	102	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	CONT.	#1
PO NM	2	POPULUS TREMULOIDES 'CLUMP FORM'	QUAKING ASPEN	B & B	6' HT.	SO NU	32	SORGHASTRUM NUTANS	INDIAN GRASS	CONT.	#1
EVERGREEN TREES						PERENNIALS					
PI PU	1	PICEA PUNGENS	COLORADO SPRUCE	B & B	10' HT.	AC MO	15	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROW	CONT.	#1
PI PP	3	PICEA PUNGENS 'BABY BLUE EYES'	BABY BLUE EYES COLORADO BLUE SPRUCE	B & B	8' HT.	AS AL	23	ASTER ALPINUS	ALPINE ASTER	CONT.	#1
ORNAMENTAL TREES						CE TO	25	CERASTIUM TOMENTOSUM	SNOW IN SUMMER	CONT.	#1
						PA NU	40	PAPAVER NUDICAULE 'WONDERLAND MIX'	ICELAND POPPY	CONT.	#1
MA SS	6	MALUS X 'SPRING SNOW'	SPRING SNOW CRAB APPLE	B & B	6' HT.	PE ST	28	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	CONT.	#1
PU VI	3	PRUNUS VIRGINIANA 'SCHUBERT'	SCHUBERT CHOKECHERRY	B & B	6' HT.						
DECIDUOUS SHRUBS 2-4' SPREAD											
CH NN	17	CHRYSOETHAMNUS NAUSEOSUS NAUCEOSUS	BABY BLUE RABBITBRUSH	CONT.	#5						
PO KA	7	POTENTILLA FRUTICOSA 'KATHERINE DYKES'	KATHERINE DYKES BUSH CINQUEFOIL	CONT.	#5						
SA TT	6	SAMBUCUS PUBENS	NATIVE RED BERRIED ELDER	CONT.	#5						
DECIDUOUS SHRUBS 5-7' SPREAD											
CO AC	5	COTONEASTER ACUTIFOLIUS	PEKING COTONEASTER	CONT.	#5						
PH NA	13	PHYSOCARPUS OPULIFOLIUS 'NANUS'	DWARF NINEBARK	CONT.	#5						
SY PE	4	SYRINGA X PRESTONIAE 'MISS CANADA'	MISS CANADA PRESTON LILAC	CONT.	#5						
DECIDUOUS SHRUBS 7-9' SPREAD											
CR RE	12	CORNUS SERICEA	RED TWIG DOGWOOD	CONT.	#5						
CO FL	24	CORNUS SERICEA 'FLAVIRAMEA'	YELLOW TWIG DOGWOOD	CONT.	#5						
EVERGREEN SHRUBS											
AR UV	40	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	CONT.	#1						
PI MU	18	PINUS MUGO 'WHITE BUD'	WHITE BUD MUGO PINE	CONT.	#5						
PI BG	5	PINUS MUGO 'BIG TUNA'	BIG TUNA MUGO PINE	CONT.	#5						

LANDSCAPE LIGHTING SCHEDULE							
CODE	DESCRIPTION	PRODUCT NAME	MANUFACTURER	CONTACT	COLOR / FINISH	SIZE / DIMENSIONS	NOTES
L-01	PEDESTRIAN LIGHT	BY OWNER	BY OWNER	OWNER	BY OWNER	BY OWNER	TO BE INSTALLED BY CONTRACTOR

AMENITY SCHEDULE									
CODE	DESCRIPTION	PRODUCT NAME	MANUFACTURER	CONTACT	MODEL #	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
S-01	BIKE RACK ON RAIL	U HOOP BIKE RACK	DERO	DERO.COM 612.359.0689	RACK: HOOP FT WELDMENT 2000073-B LOGO: BRECK HR PLATE 1006163-A	BLACK, LASER CUT LOGO COLOR: BLACK	24"W X 1.9"D X 35"H	5 / LP-502	5 RACKS PER RAIL. BIKE RACKS ON THE ENDS OF RAIL TO HAVE LASER CUT LOGO, MIDDLE RACKS TO BE STANDARD HOOP
S-02	BENCH	BY OWNER	BY OWNER			BY OWNER	BY OWNER		
S-03	PICNIC TABLE	BY OWNER	BY OWNER			BY OWNER	BY OWNER		
S-04	TRASH RECEPTACLE	HA SERIES DOUBLE TRASH ENCLOSURE, ADA COMPLIANT	BEARSAVER	BEARSAVER.COM 1.800.851.3887	HA2-P, TRASH AND RECYCLING	FOREST BROWN	44"W X 24"L X 46"H		INSTALL PER MANUFACTURER'S SPECIFICATIONS
S-05	PLANTER A	TOWN PLANTERS	TOWN OF BRECKENRIDGE		N/A	WOOD AND METAL, TO MATCH EXISTING TOWN PLANTERS	39" X 39"		SEE PLANS FOR LOCATIONS

LANDSCAPE MATERIAL SCHEDULE									
CODE	DESCRIPTION	PRODUCT NAME	SUPPLIER/MANUFACTURER	CONTACT	MODEL #	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
M-01	CONCRETE PAVEMENT	STANDARD GREY CONCRETE	BY CONTRACTOR			GREY, BROOM FINISH	5" DEPTH	1 / LP-502	REFER TO PLANS FOR SCORING PATTERN
M-02	ASPHALT	ASPHALT	BY CONTRACTOR			TYPICAL PER CDOT STANDARDS	4" DEPTH	2 / LP-502	INSTALL PER CDOT TYPICAL STANDARDS, ALSO SEE DETAIL 1, L-4.01
M-03	CRUSHER FINES	GRAY BREEZE CRUSHER FINES	PIONEER SAND OR LOCAL SUPPLIER (OR APPROVED EQUAL)	PIONEERCO.COM 303.279.4748	CAGG-0231	GRAY BREEZE	REFER TO PLANS	3 / LP-502	REFER TO PLANS FOR LOCATION. MINIMUM 3" DEPTH
M-04	LANDSCAPE BED	DECORATIVE AGGREGATE	PIONEER OR LOCAL SUPPLIER (OR APPROVED EQUAL)	PIONEERCO.COM 303.279.4748	DAGG-5196	PIONEER BLUE	1-1/2", 4" MIN. DEPTH, SEE PLANS FOR AREA	1, 2, 3 / LP-501	TO BE INSTALLED IN ALL LANDSCAPE BEDS OVER SPECIFIED LANDSCAPE BARRIER FABRIC. SEE SPECIFICATIONS
M-05	PAVEMENT MARKING WHITE - STRIPING	DURABLE PAVEMENT MARKING PAINT	CDOT APPROVED MANUFACTURER			WHITE	SEE PLANS FOR LENGTH/AREA, STANDARD STRIPPING WIDTH UNLESS OTHERWISE NOTED		REFER TO CDOT STANDARD SPECIFICATIONS FOR INSTALLATION REQUIREMENTS
M-06	PAVEMENT MARKING - ADA PARKING	DURABLE PAVEMENT ADA PARKING MARKING	CDOT APPROVED MANUFACTURER			BLUE AND WHITE	SEE PLANS FOR AREA		REFER TO CDOT STANDARD SPECIFICATIONS FOR INSTALLATION REQUIREMENTS
M-07	EDGER	BENDA BOARD EDGER	EPIC PLASTICS OR APPROVED EQUAL	EPICPLATICS.COM 817.876.8069		TEAK	1" X 6" EDGER, SEE PLANS FOR LENGTH AND LOCATION	5 / LP-501	INSTALL PER MANUFACTURER'S SPECIFICATIONS, REFER TO PLANS FOR LOCATION AND QUANTITY
M-08	LANDSCAPE BOULDER	RIVER ROCK BOULDER	PIONEER SAND OR LOCAL QUARRY	PIONEERCO.COM 303.279.4748		NATURAL	MIN. 30" - MAX. 60" DIA. SEE DETAIL	6 / LP-501	ON SITE OR LOCAL BOULDERS ARE ACCEPTABLE

SPECIALTY MATERIAL SCHEDULE									
CODE	DESCRIPTION	PRODUCT NAME	MANUFACTURER	CONTACT	MODEL #	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
MS-01	SKATE STOPPERS	SKATE STOPPERS	SKATE STOPPERS (OR APPROVED EQUAL)	WWW.SKATESTOP PERS.COM	FR1.0	4/LP-502	2" W X 4" L X 1-5/8" H	4 / LP-502	INSTALL PER MANUFACTURER'S RECOMMENDATIONS. INSTALL 18" FROM END OF WALL AND SPACE APPROXIMATELY EVERY 4'-0"
MS-02	STABILIZER/TACKIFIER	GORILLA SNOT	SOILWORKS (OR APPROVED EQUAL)	SOILWORKS.COM 800.545.5420			SEE PLANS FOR CRUSHER FINES AREA	3 / LP-502	APPLY TO CRUSHER FINES SURFACE AS RECOMMENDED BY MANUFACTURER

SHORT DRY NATIVE GRASS SEED MIXTURE

COMMON NAME	% OF TOTAL	LBS. PER 1000 S.F.
HARD FESCUE, VNS	30%	0.6 LBS.
CREEPING RED FESCUE, VNS	30%	0.6 LBS.
SHEEP FESCUE, MEKLENBERGER	25%	0.5 LBS.
CANADA BLUEGRASS, RUBENS	10%	0.2 LBS.
CANBY BLUGRASS, CANBAR	5%	0.1 LBS.
TOTAL	100%	2.0 LBS.

- SLOPES OVER 3:1 SHALL BE HAYED AND TACKIFIED OR NETTED
- SPREAD SEED AT A RATE OF 2 LBS PER 1000 SF
- SEED REQUIRED IN ALL DISTURBED AREAS NOT COVERED WITH PAVEMENT.

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SAWMILL PEDESTRIAN CONNECTION
BRECKENRIDGE, COLORADO

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ATTN: SHANNON SMITH
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05/05/25 - DD

DRAFT

SHEET TITLE:
LANDSCAPE
SCHEDULES



LP-002

PLANT SCHEDULE

CODE COMMON NAME

DECIDUOUS TREES
PO TR QUAKING ASPEN
PO NM QUAKING ASPEN

EVERGREEN TREES
PI PP BABY BLUE EYES COLORADO BLUE SPRUCE
PI PU COLORADO SPRUCE

ORNAMENTAL TREES
PU VI SCHUBERT CHOKECHERRY
MA SS SPRING SNOW CRAB APPLE

DECIDUOUS SHRUBS 2-4' SPREAD
CH NN BABY BLUE RABBITBRUSH
PO KA KATHERINE DYKES BUSH CINQUEFOIL
SA TT NATIVE RED BERRIED ELDER

DECIDUOUS SHRUBS 5-7' SPREAD
PH NA DWARF NINEBARK
SY PE MISS CANADA PRESTON LILAC
CO AC PEKING COTONEASTER

DECIDUOUS SHRUBS 7-9' SPREAD
CR RE RED TWIG DOGWOOD
CO FL YELLOW TWIG DOGWOOD

EVERGREEN SHRUBS
PI BG BIG TUNA MUGO PINE
AR UV KINNIKINNICK
PI MU WHITE BUD MUGO PINE

ORNAMENTAL GRASSES
SO NU INDIAN GRASS
DE CE TUFTED HAIR GRASS

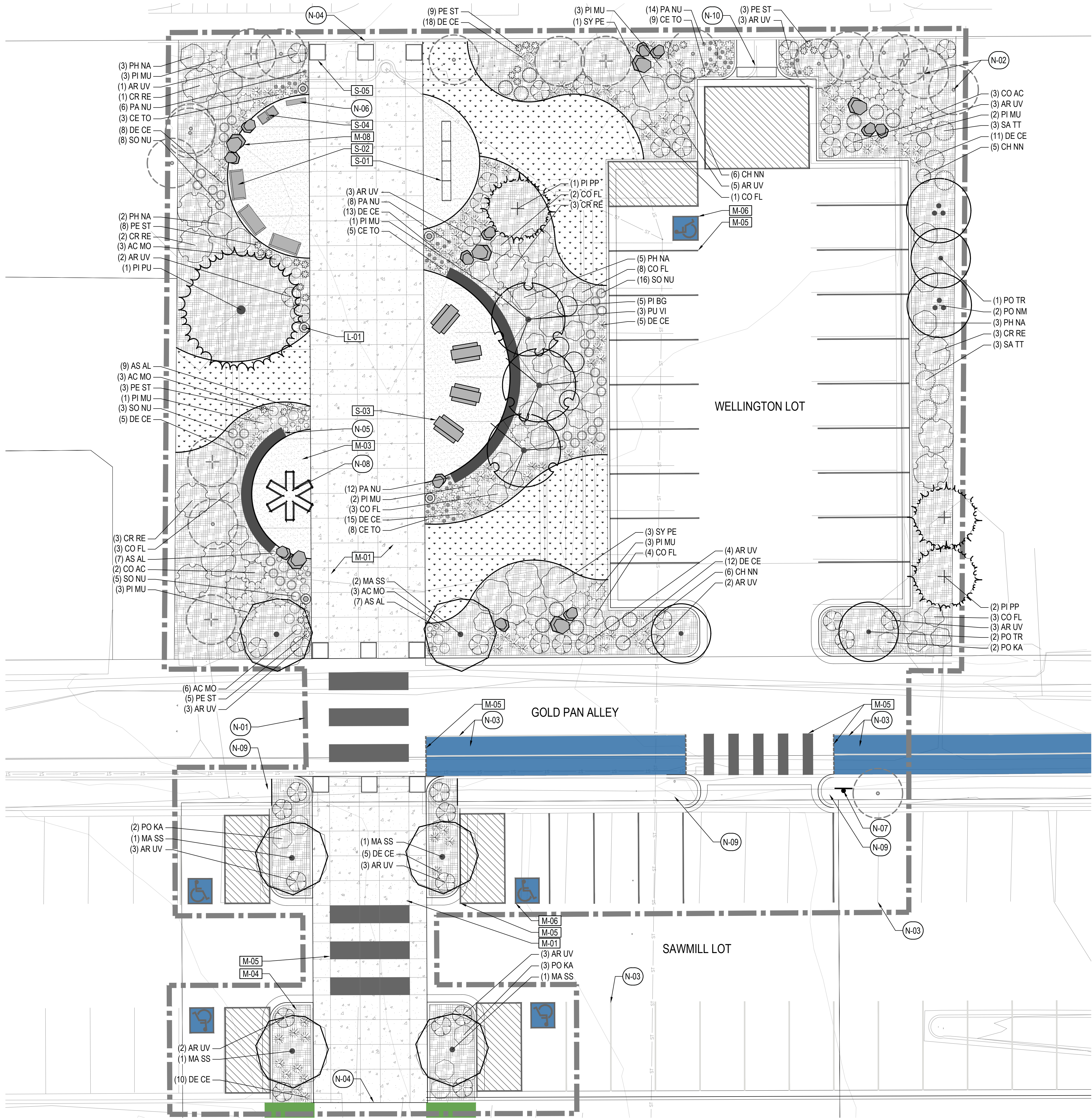
PERENNIALS
AS AL ALPINE ASTER
PA NU ICELAND POPPY
AC MO MOONSHINE YARROW
PE ST ROCKY MOUNTAIN PENSTEMON
CE TO SNOW IN SUMMER

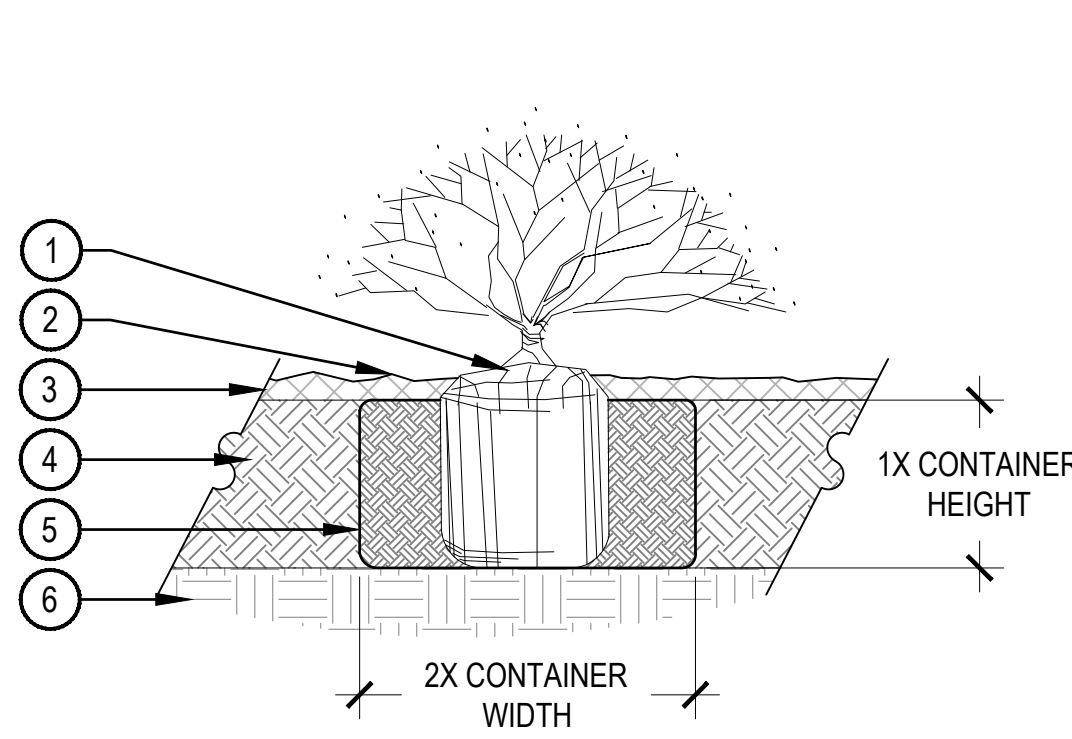
LEGEND

LIMIT OF WORK		
EXISTING TREES TO REMAIN		
SHORT DRY NATIVE GRASS S		
SYMBOL	CODE	DESCRIPTION
	M-01	CONCRETE PAVEMENT
	M-02	ASPHALT
	M-03	CRUSHER FINES
	M-04	LANDSCAPE BED
	M-05	PAVEMENT MARKING WHITE - STRIPING
	M-06	PAVEMENT MARKING - ADA PARKING
	M-07	EDGER
	M-08	LANDSCAPE BOULDER
SYMBOL	CODE	DESCRIPTION
	S-01	BIKE RACK ON RAIL
	S-02	BENCH
	S-03	PICNIC TABLE
	S-04	TRASH RECEPTACLE
	S-05	PLANTER A

KEY NOTES

CODE	DESCRIPTION	DETAIL
N-01	LIMIT OF WORK, TYP.	
N-02	EXISTING TREE TO REMAIN, IF TREES ARE DAMAGED OR REMOVED DURING CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT.	3 / LP-501
N-03	EXISTING PAVEMENT MARKING TO REMAIN	
N-04	CONNECT TO EXISTING HARDSCAPE, FIELD VERIFY LOCATION	
N-05	FREESTANDING CONCRETE SEATWALL WAYFINDING SIGNAGE, TBD	4 / LP-502
N-06	MUTCD - ONE-WAY (RIGHT ARROW) -R6-2	
N-07	FUTURE ART LOCATION	
N-08	RESEED DISTURBED AREA	
N-09	NEW HANDICAP RAMP	

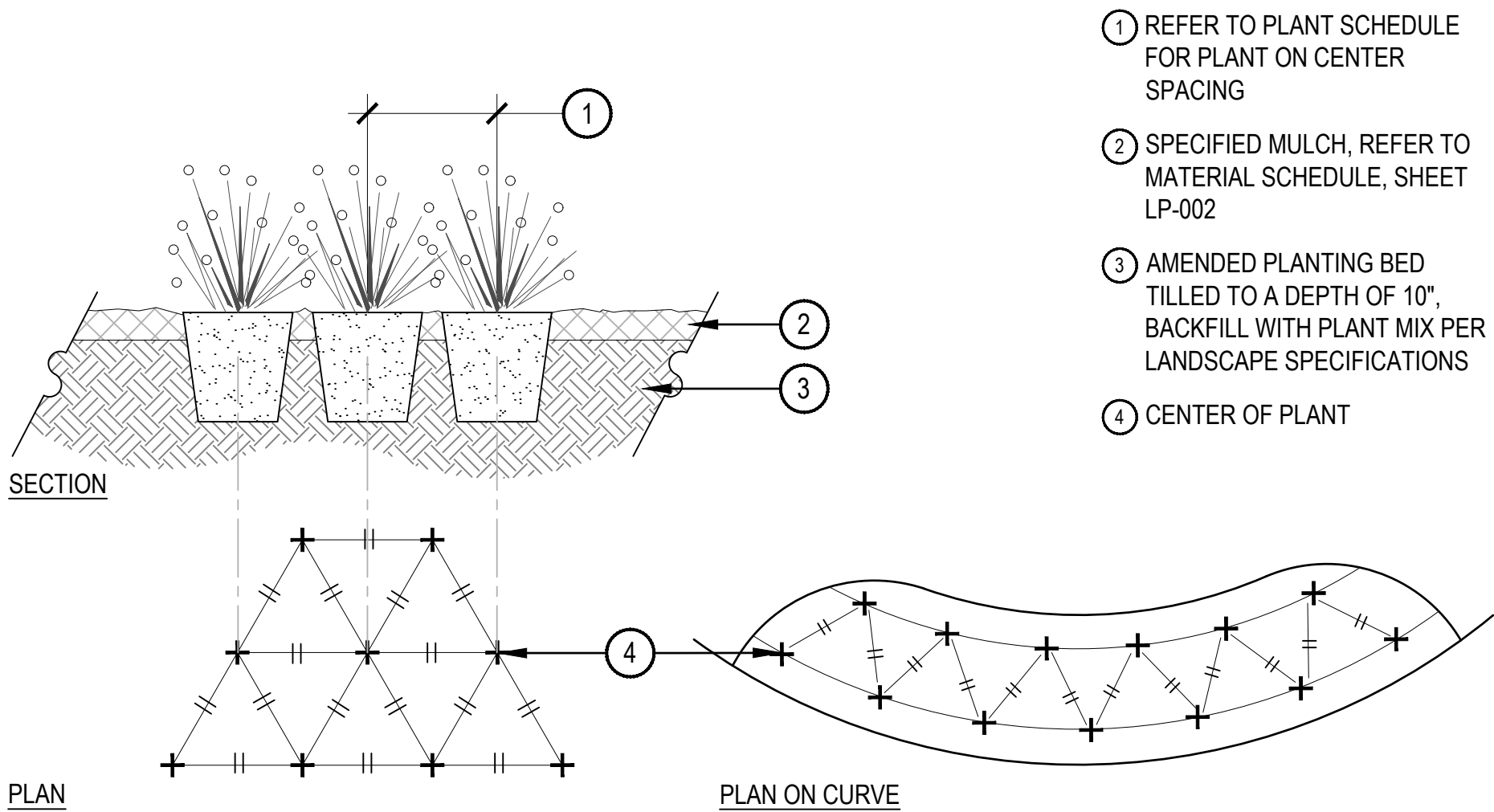




- NOTE:
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.
 2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER.
 3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER.
 4. DIG PLANT PIT TWICE AS WIDE AND AS HIGH AS THE CONTAINER.
 5. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING, DO NOT PRUNE MORE THAN 20% OF LIMBS.

SHRUB PLANTING

SCALE: 1 1/2" = 1'-0"



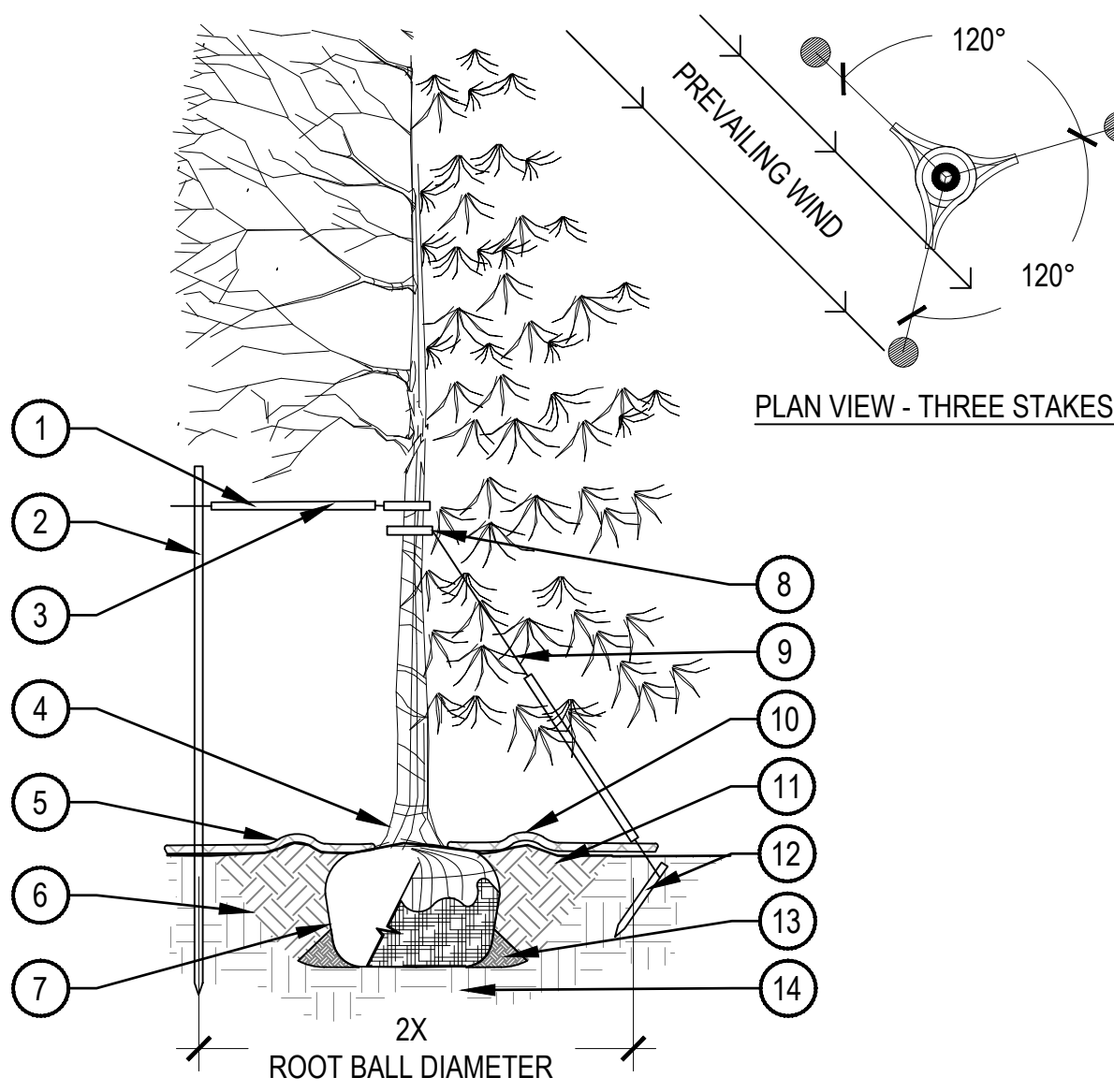
- NOTES:
1. WHEN PLANTED ON A CURVE, ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSES.

ORNAMENTAL GRASS AND PERENNIAL PLANT LAYOUT

SCALE: 1" = 1'-0"

- PRUNING NOTES:
1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
 2. DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY Crossover LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

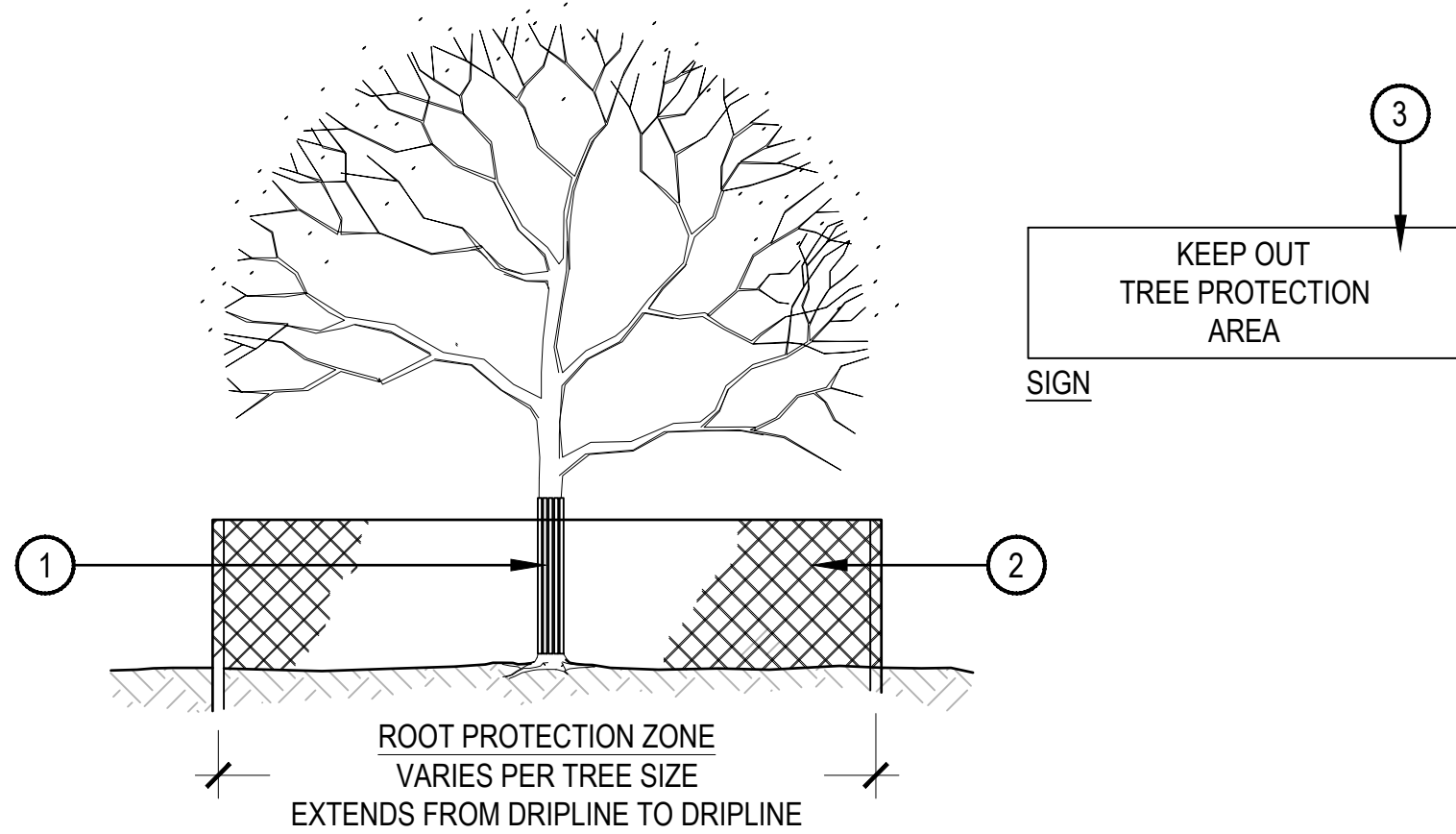
- STAKING NOTES:
1. STAKE TREES PER DIAGRAM. AFTER A MINIMUM OF (3) THREE YEARS CONFIRM TREE IS ESTABLISHED. CHECK FOR ROOTBALL STABILITY. APPLY HAND PRESSURE TO TRUNK OF TREE, WHEN ROOTBALL DOES NOT MOVE, REMOVE STAKING.
 - a. 2" CALIPER SIZE AND UNDER DECIDUOUS AND ASPEN TREES - MINIMUM 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE).
 - b. EVERGREEN TREES - 3 STAKES PER DIAGRAM.
 - c. 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM.
 2. WIRE OR CABLE SHALL BE MINIMUM 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.
 3. ADJUST STAKING, STRAPS AND GUY WIRES ANNUALLY.
 4. TREATED WOOD POST PREFERRED, METAL T STAKES WITH PLASTIC SAFETY CAPS ACCEPTABLE WITH APPROVAL FROM OWNER.



1. PLACE MINIMUM 1/2" PVC PIPE AROUND EACH WIRE, EXPOSED WIRE SHALL BE MAXIMUM 2" EACH SIDE
2. 6'-0"UNTREATED WOOD POST, MINIMUM 1.5" DIAMETER, ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL
3. INSTALL STAKING PER SPECIFICATIONS
4. PLANT TREE SO THAT TOP MOST MAJOR ROOT IS 1'-2" ABOVE FINISHED GRADE
5. 2'-0" RADIUS MULCH RING, CENTERED ON TRUNK, 3" DEPTH, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK, FINISHED GRADE REFERENCES TOP OF MULCH
6. 1:1 SLOPE ON SIDES OF PLANTING HOLE
7. REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM THE ENTIRE ROOTBALL AND TRUNK
8. GROMMETED NYLON STRAPS
9. GALVANIZED WIRE, MINIMUM 12 GAUGE CABLE, TWIST WIRE ONLY TO KEEP FROM SLIPPING
10. 4-6" HIGH WATER SAUCER IN NON-TURF AREAS
11. BACKFILL AROUND ROOTBALL WITH PLANT MIX, PLANT MIX SHALL CONSIST OF EQUAL PARTS TOPSOIL, COMPOST, EXCAVATED SOIL, PLUS MYCORRHIZAL INOCULANT PER SPECIFICATIONS
12. 2'-0" STEEL T-POST, ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL
13. PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP, SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS
14. PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT

SCALE: 3/16" = 1'-0"

- NOTES:
1. TREES TO BE PROTECTED AND PRESERVED SHALL BE IDENTIFIED ON THE TRUNK WITH WHITE SURVEY TAPE. GROUPING OF MORE THAN ONE TREE MAY OCCUR.
 2. TO PREVENT ROOT SMOTHERING, SOIL STOCKPILES, SUPPLIES, EQUIPMENT OR ANY OTHER MATERIAL SHALL NOT BE PLACED OR STORED WITHIN THE DRIP LINE OR WITHIN 15 FEET OF A TREE TRUNK, WHICHEVER IS GREATER.
 3. FENCING MATERIAL SHALL BE SET AT THE DRIP LINE OR 15 FEET FROM TREE TRUNK, WHICHEVER IS GREATER, AND MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
 4. FENCING MATERIAL SHALL BE BRIGHT, CONTRASTING COLOR, DURABLE, AND A MINIMUM OF FOUR FEET IN HEIGHT.
 5. TREE ROOTS SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE.
 6. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. ROOTS SHALL BE CUT NO MORE THAN 1/3 OF THE RADIUS FROM DRIPLINE TO TRUNK, WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING, DURING DORMANCY PERIOD. ROOT STIMULATOR SHALL BE APPLIED TO CUT ROOTS. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST.WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
 7. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING, DURING DORMANCY PERIOD. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST.WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
 8. ANY GRADE CHANGES (SUCH AS THE REMOVAL OF TOPSOIL OR ADDITION OF FILL MATERIAL) WITHIN THE DRIP LINE SHOULD BE AVOIDED FOR EXISTING TREES TO REMAIN. RETAINING WALLS AND TREE WELLS ARE ACCEPTABLE ONLY WHEN CONSTRUCTED PRIOR TO GRADE CHANGE.

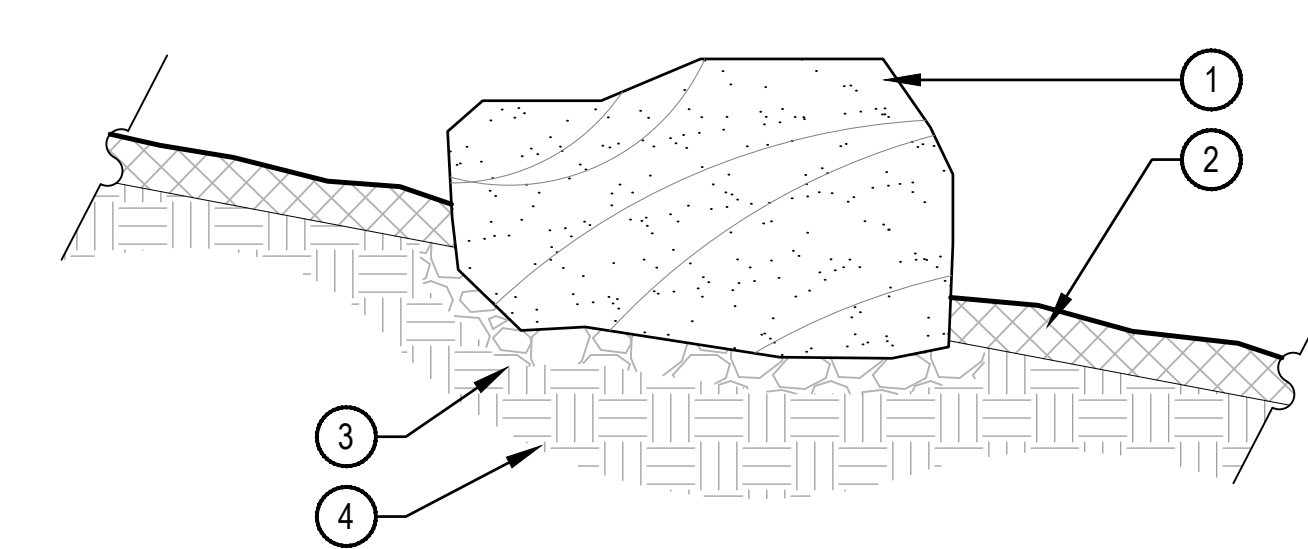
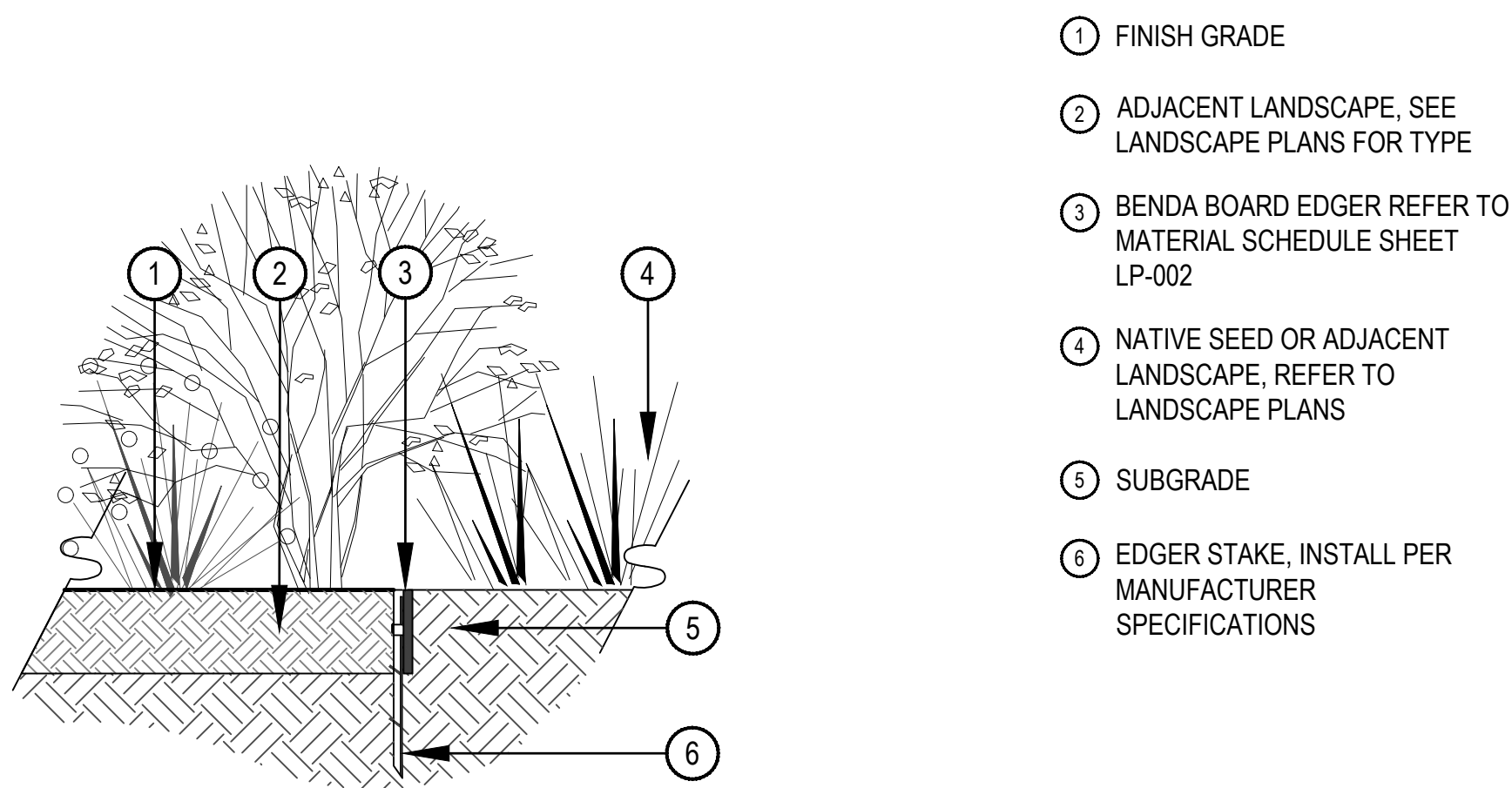


1. TRUNK PROTECTION - 1" BOARDS NO LESS THAN 5' LONG OR TO REACH FIRST SCAFFOLD BRANCH. WIRE TO HOLD BOARDS IN PLACE, NO NAILS PERMITTED. INCLUDE WRAPPING OF BURLAP UNDER BOARDS.
2. BRANCH PROTECTION - PROTECT LOWER BRANCHES OF TREE CANOPY. PROVIDE CONSTRUCTION FENCING OR EQUAL AT DRIPLINE MINIMUM.
3. PLACE SIGNS EVERY 50', PLACE SIGNS WHERE VISIBLE, ATTACH TO FENCING.

SCALE: 1/8" = 1'-0"

TREE PROTECTION

3



BOULDER SIZES			
QTY.	ITEM	SIZE	
12	B' SIZED BOULDER	30 - 48" DIAMETER X 24" MINIMUM DEPTH	
6	C' SIZED BOULDER	48 - 60" DIAMETER X 32" MINIMUM DEPTH	

- NOTES:
1. THESE ARE FREE STANDING BOULDERS ONLY. BOULDERS ASSOCIATED WITH THE BOULDER RETAINING WALLS, PARK ENTRY SIGNS AND INTERPRETIVE SIGNS ARE NOT INCLUDED IN THIS COUNT.
 2. THE OWNERS REPRESENTATIVE SHALL APPROVE LOCATIONS AND SIZES OF ALL BOULDERS PRIOR TO PLACING.
 3. CONTRACTOR SHALL SUBMIT SAMPLE OR PHOTOS FOR APPROVAL.

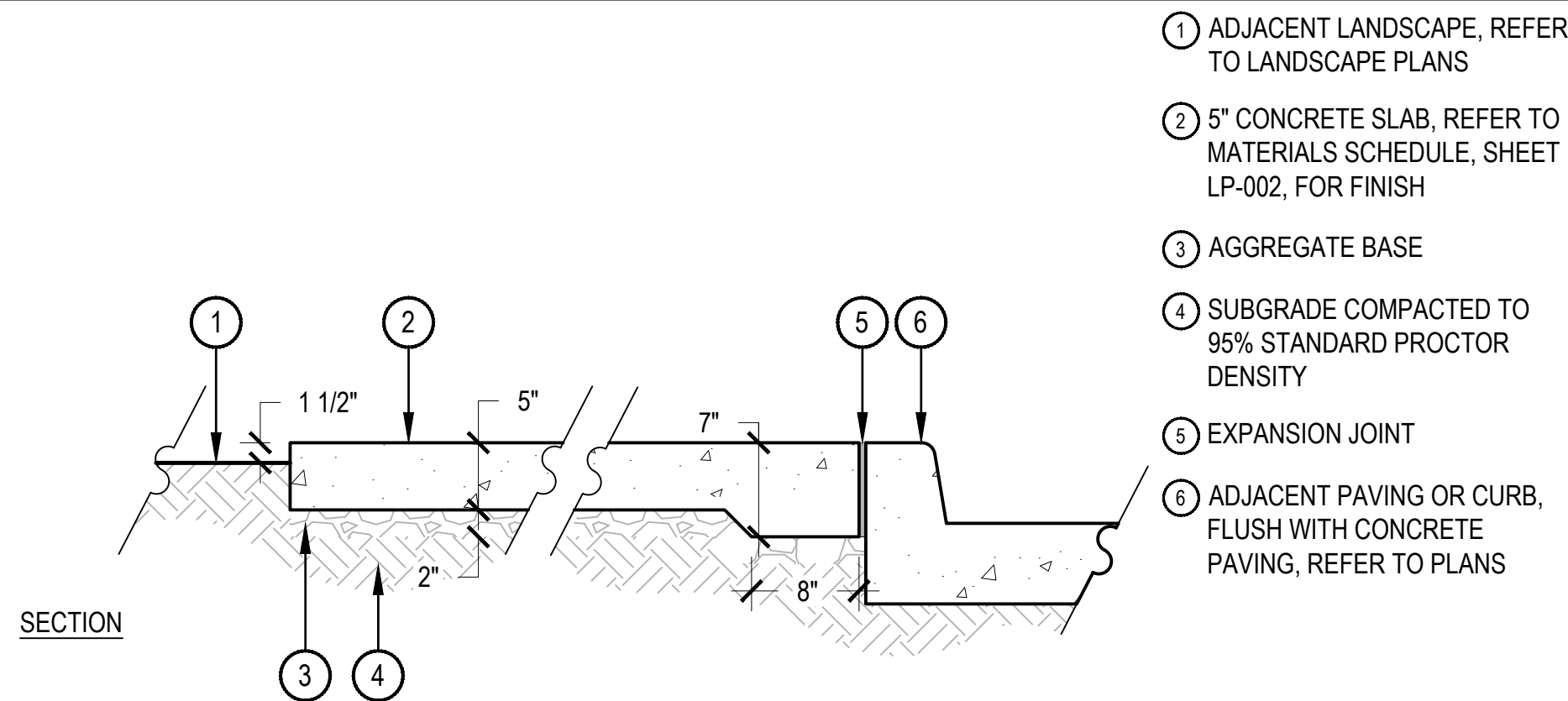
LANDSCAPE BOULDER

SCALE: 3/4" = 1'-0"

BENDA BOARD EDGER

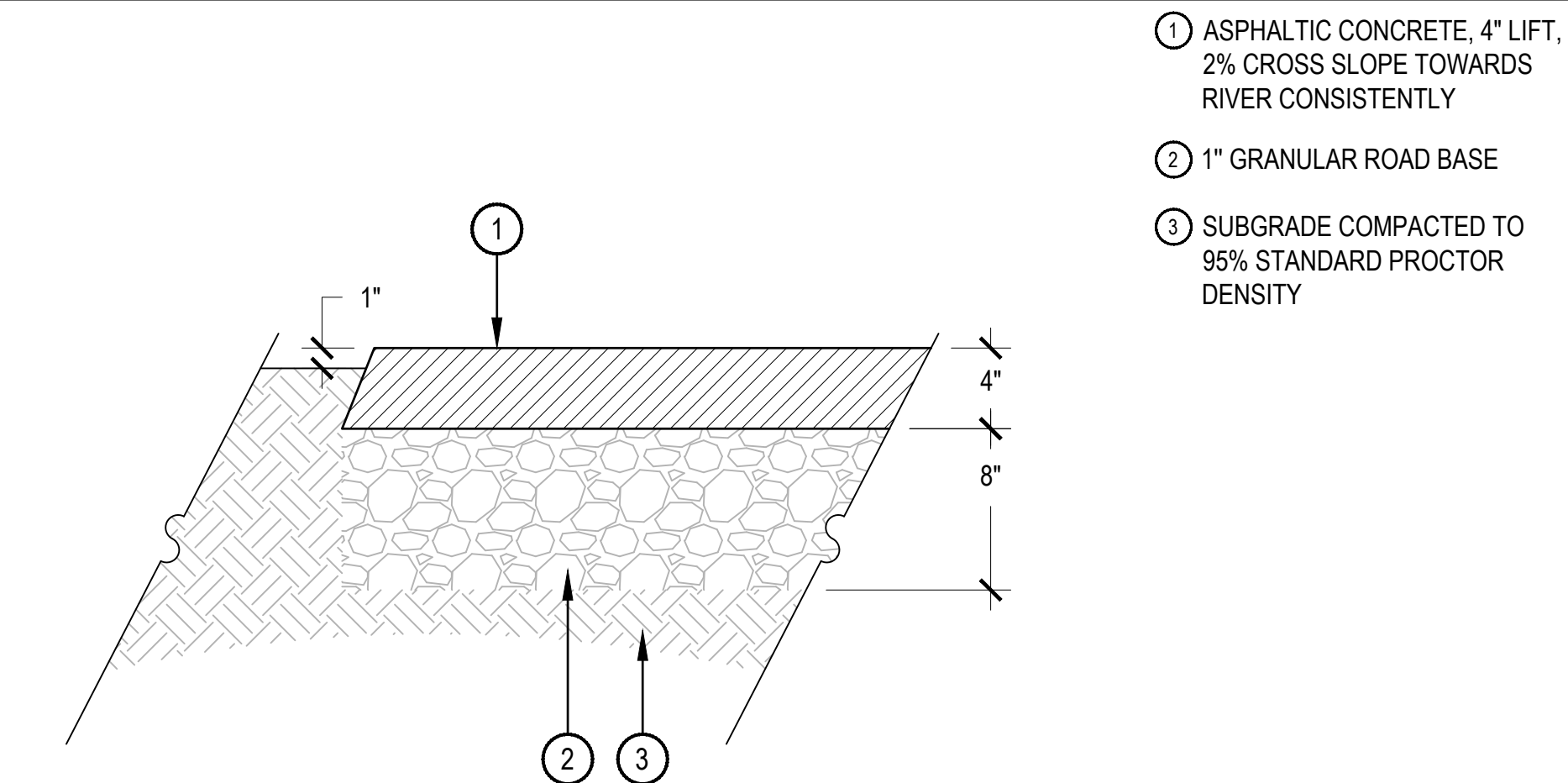
N.T.S.

6



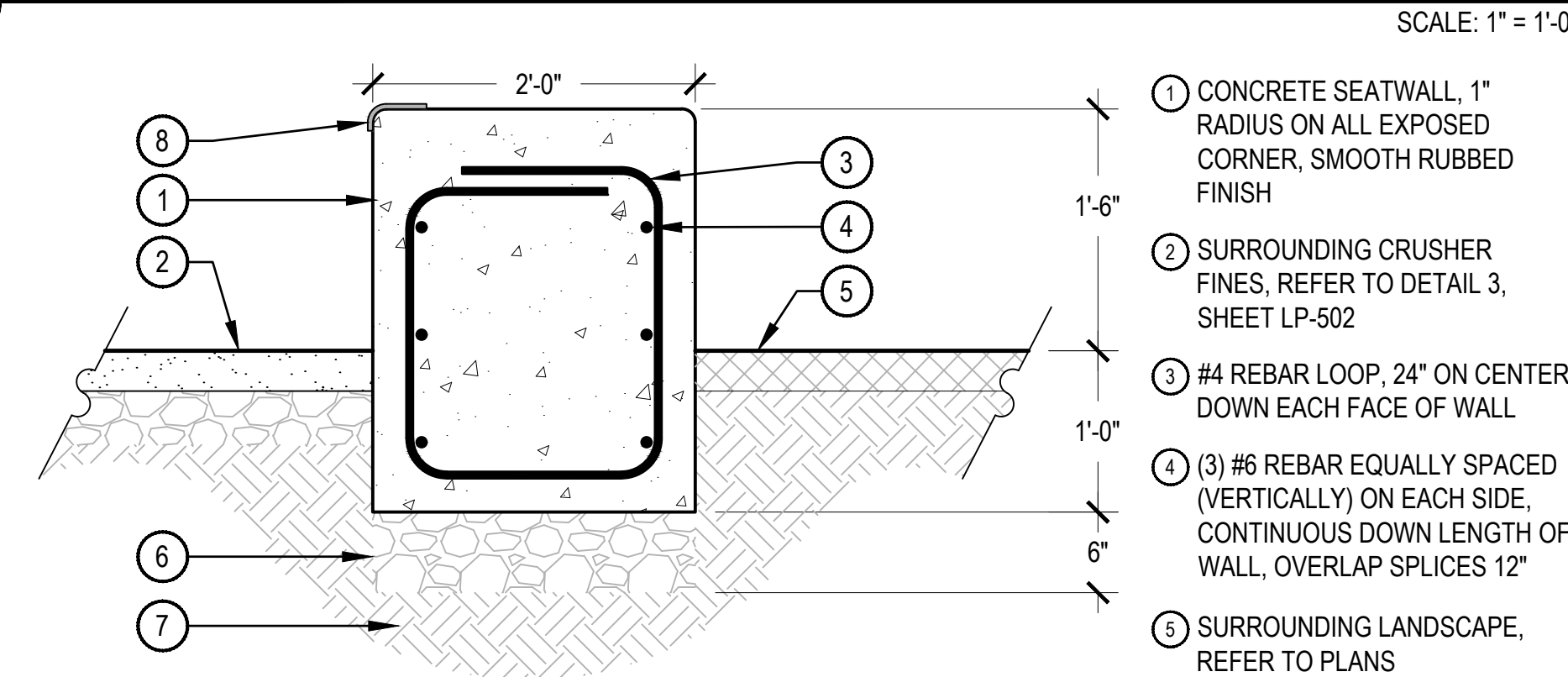
- NOTES:**
1. PROVIDE A 25 SF MOCK-UP OF CONCRETE PAVING FOR EACH FINISH SPECIFIED. MOCK-UP SHALL INCLUDE CONTROL JOINTS. MOCK-UP NOT REQUIRED FOR STANDARD BROOM FINISH.
 2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.
 3. EXPANSION JOINTS AT 200' ON CENTER MAXIMUM OR WHERE NOTED.
 4. CONTROL JOINTS AS SHOWN ON PLANS.

1 CONCRETE PAVING



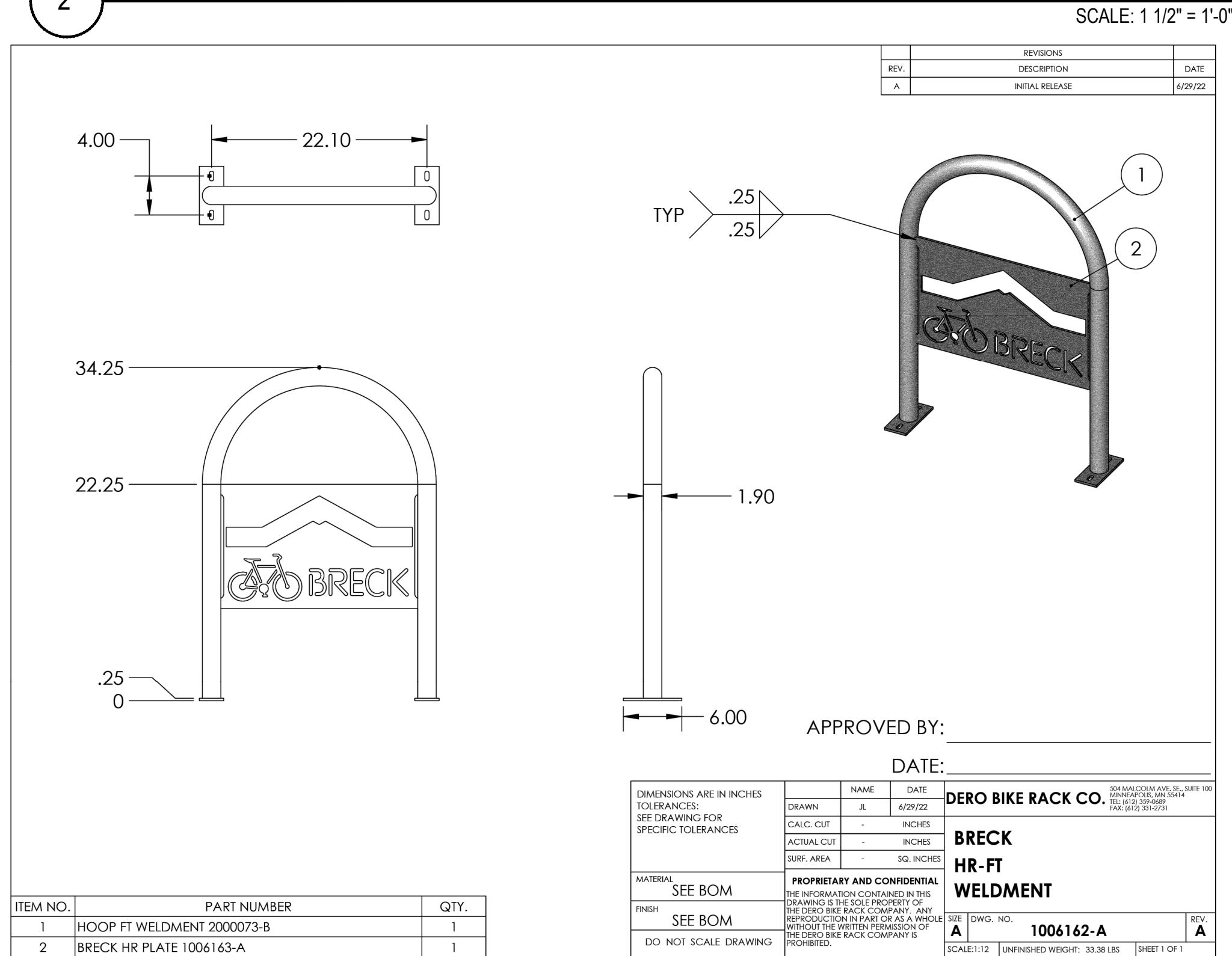
- NOTES:**
1. ALL PAVING, WALL AND RAILING TO BE FIELD FIT. CONTRACTOR TO REPORT TO OWNERSHIP AND LANDSCAPE ARCHITECT IF ON SITE CONDITIONS ARE DIFFERENT THAN WHAT IS CURRENTLY SHOWN ON PLANS.

2 ASPHALT PAVEMENT



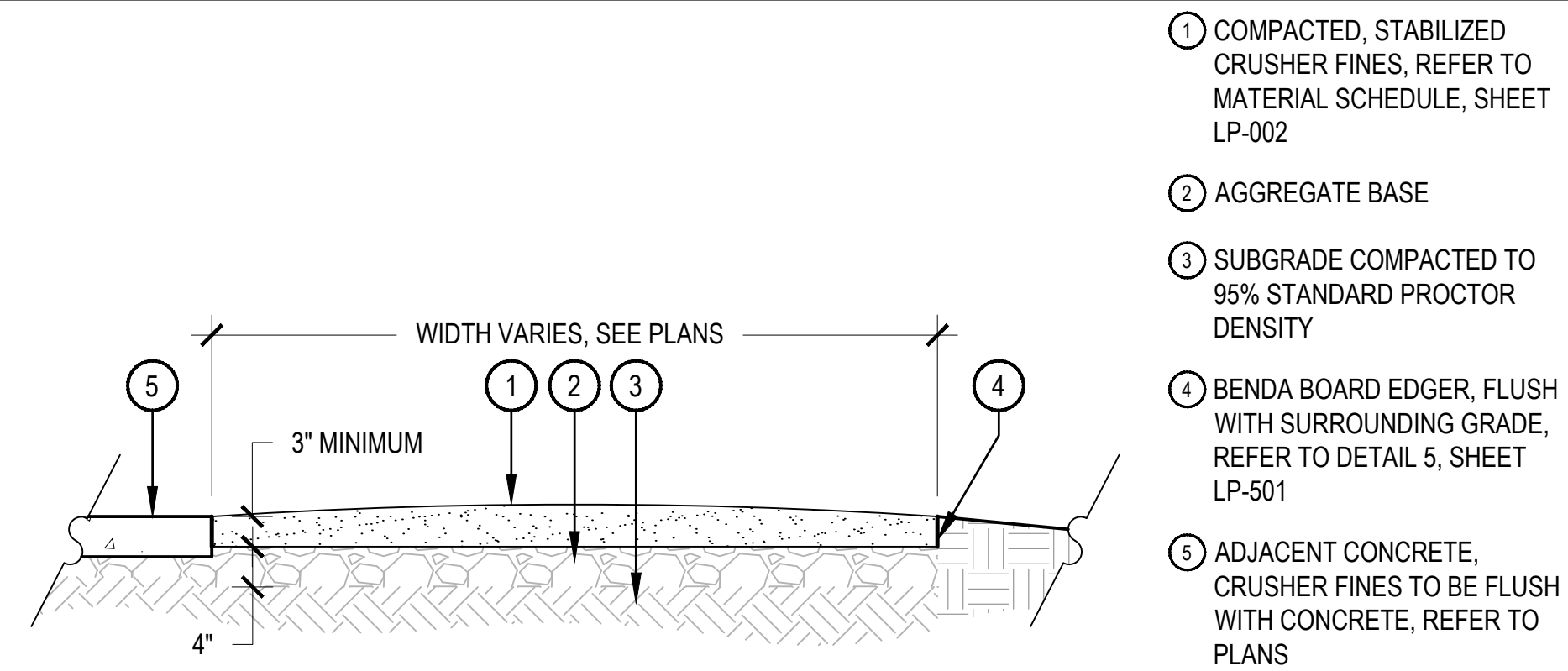
- | | |
|---|--|
| NOTES: | |
| 1. NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE, THIS DETAIL HAS NOT BEEN ENGINEERED. | ⑥ COMPACTED AGGREGATE BASE |
| 2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT 28 DAYS. | ⑦ SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY |
| 3. MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2'-1/2". | |
| 4. VERTICAL CONTROL JOINTS SHALL BE 10' ON CENTER WITH EXPANSION JOINTS 50' ON CENTER, UNLESS OTHERWISE NOTED. | ⑧ SKATE STOPPER, INSTALL WHERE ADJACENT TO CRUSHER FINES, SURFACE MOUNT TO SEATWALL EVERY 4'-0". REFER TO MATERIAL |
| 5. VERTICAL FACES OF WALL SHALL BE PLUMB, WITH NO INCONSISTENCIES GREATER THAN 1/4" IN 10'-0" MEASURED IN ANY DIRECTION ALONG THE FACE OF THE WALL. | |
| 6. SEATWALL SHALL BE INSTALLED SO HORIZONTAL CURVES ARE SMOOTH AND FREE-FLOWING AS SHOWN ON PLANS. | |

FREESTANDING CONCRETE SEATWALL



5 BIKE RACK

SCALE: N.T.S.



- NOTES:
1. COMPACT CRUSHER FINES WET, COMPACT TO 95% STANDARD PROCTOR DENSITY.
 2. USE A SMALL 4' RIDING ROLLER TO COMPACT TRAIL.
 3. CROWN OF 2% IN FLAT AREAS AS SHOWN.
 4. CROSS SLOPE TRAIL AT 1-2% WITH GRADE WHERE TOPOGRAPHY DICTATES.
 5. APPLY STABILIZER/TACKIFIER TO CRUSHER FINES SURFACE, REFER TO MATERIAL SCHEDULE, SHEET LP-002, FOR PRODUCT INFORMATION.

3 CRUSHER FINES

SCALE: 3/4" = 1'-0"

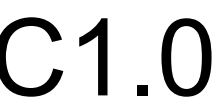


NOTES:

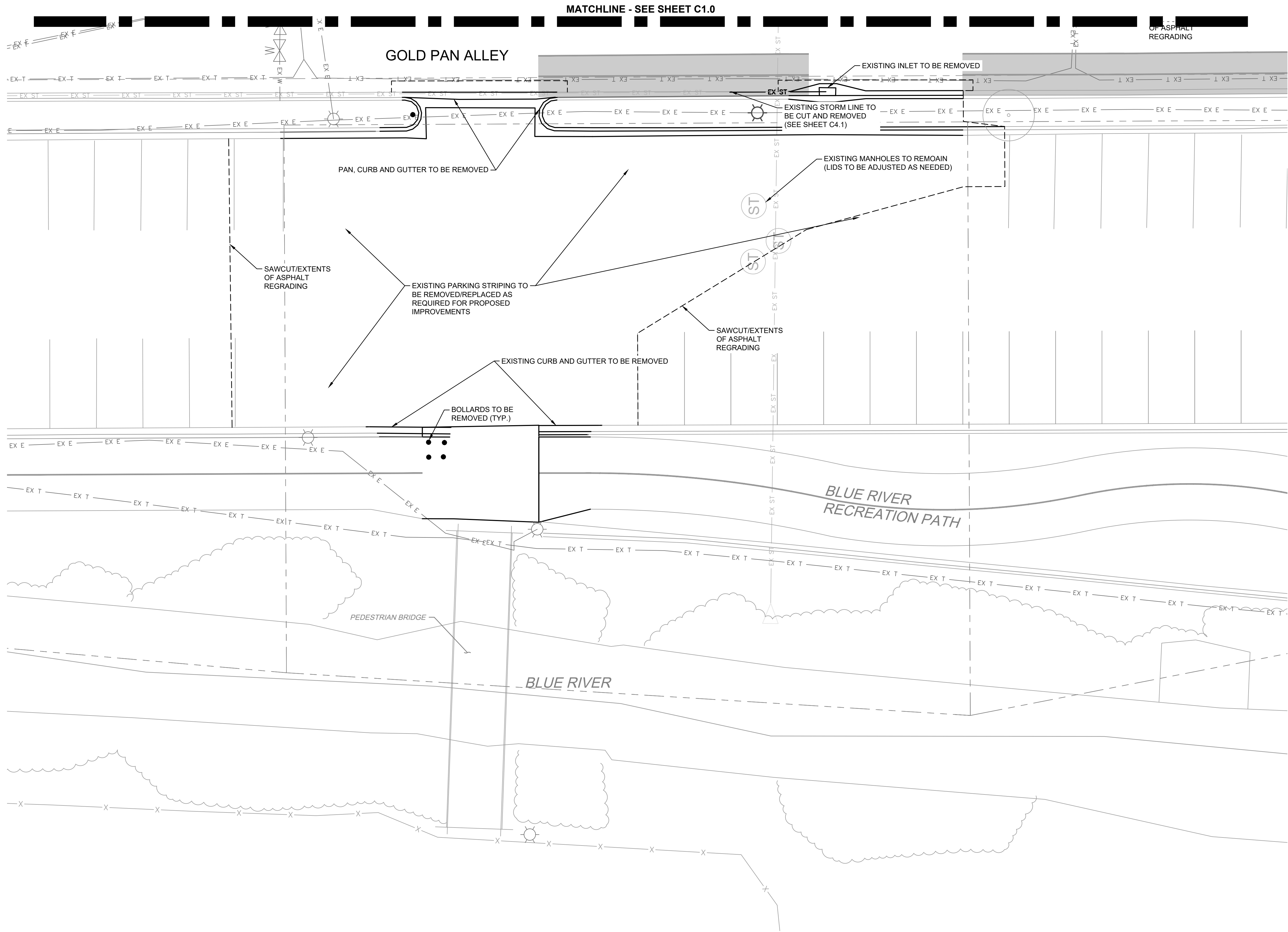
1. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE PROPOSED OR EXISTING ELEVATIONS SHOWN ON THE GRADING PLAN. THE ENGINEER WILL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION.

DEMOLITION PLAN

JOB NUMBER:	25021
CHECKED BY:	DFA
DESIGNED BY:	DFA



C1.0



LEGEND	
PROPOSED	EXISTING
	ODP AND PROPERTY BOUNDARY
	RIGHT OF WAY
	LOT LINE
	EASEMENT

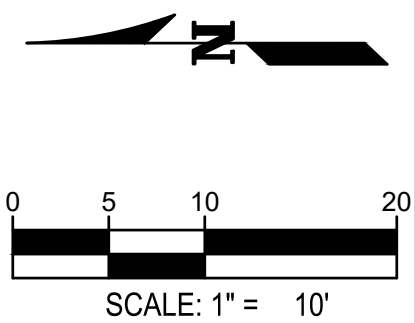
OWNER:
TOWN OF BRECKENRIDGE
150 SKI HILL ROAD
PO BOX 168
BRECKENRIDGE, CO 80424

CIVIL ENGINEER:
CRAFT
CIVIL DESIGN
388 SANTA FE DRIVE
DENVER, CO 80223
DANIEL ALLEN
319.899.2345
DALLEN@CRAFTCIVIL.COM

BRECK PATHWAYS
SAWMILL PEDESTRIAN CONNECTION
DEMOLITION PLAN

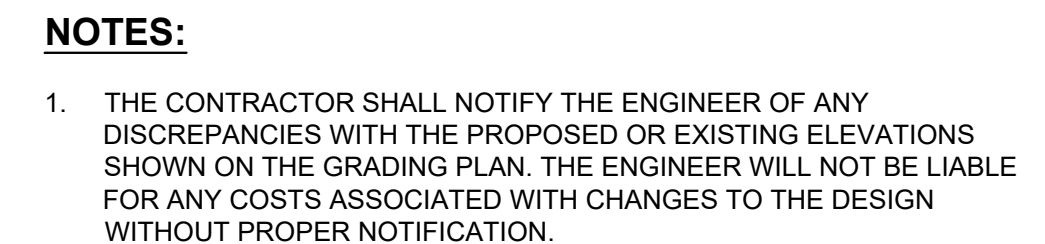
REVISIONS	DESCRIPTION	
	DATE	DESCRIPTION
	12/01/2025	90% CDS

JOB NUMBER:	25021
CHECKED BY:	DFA
DESIGNED BY:	DFA



CRAFT CIVIL DESIGN assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractors responsibility to field verify the location of all utilities prior to the commencement of any construction.

C1.1



CIVIL ENGINEER:

CRAFT

CIVIL DESIGN

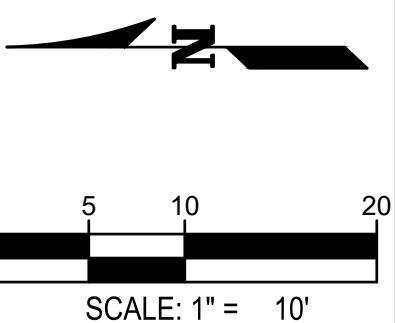
388 SANTA FE DRIVE
DENVER, CO 80223

DANIEL ALLEN
319.899.2345
DALLEN@CRAFTCIVIL.COM

BRECK PATHWAYS
SAWMILL PEDESTRIAN CONNECTION
CIVIL SITE PLAN

[illegible]

JOB NUMBER:	25021
CHECKED BY:	DFA
DESIGNED BY:	DFA



C2.1

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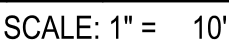
- NOTES:

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DALLEN@CRAFTCIVIL.COM

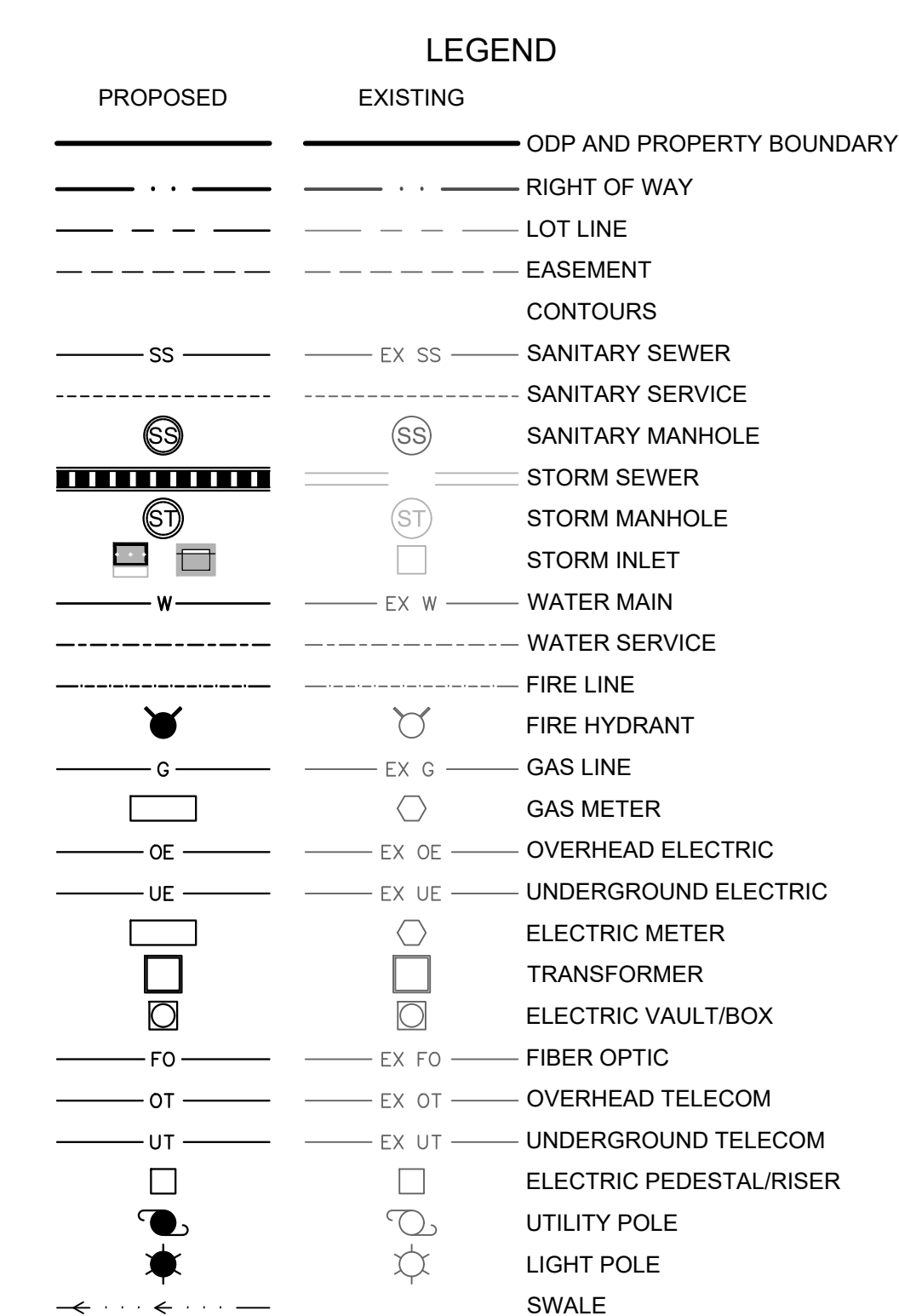
GRADING SHEET

DESIGNED BY:	DFA
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CIVIL ENGINEER:

CRAFT

CIVIL DESIGN

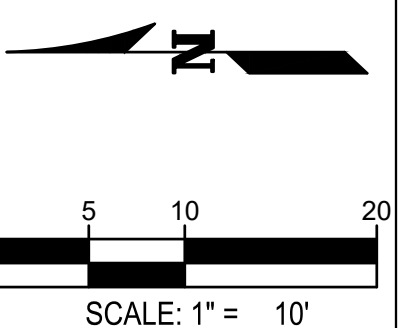
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UTILITY PLAN

[illegible]

JOB NUMBER:	25021
CHECKED BY:	DFA
DESIGNED BY:	DFA



C4.1

CRAFT CIVIL DESIGN assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractors responsibility to field verify the location of all utilities prior to the commencement of any construction.

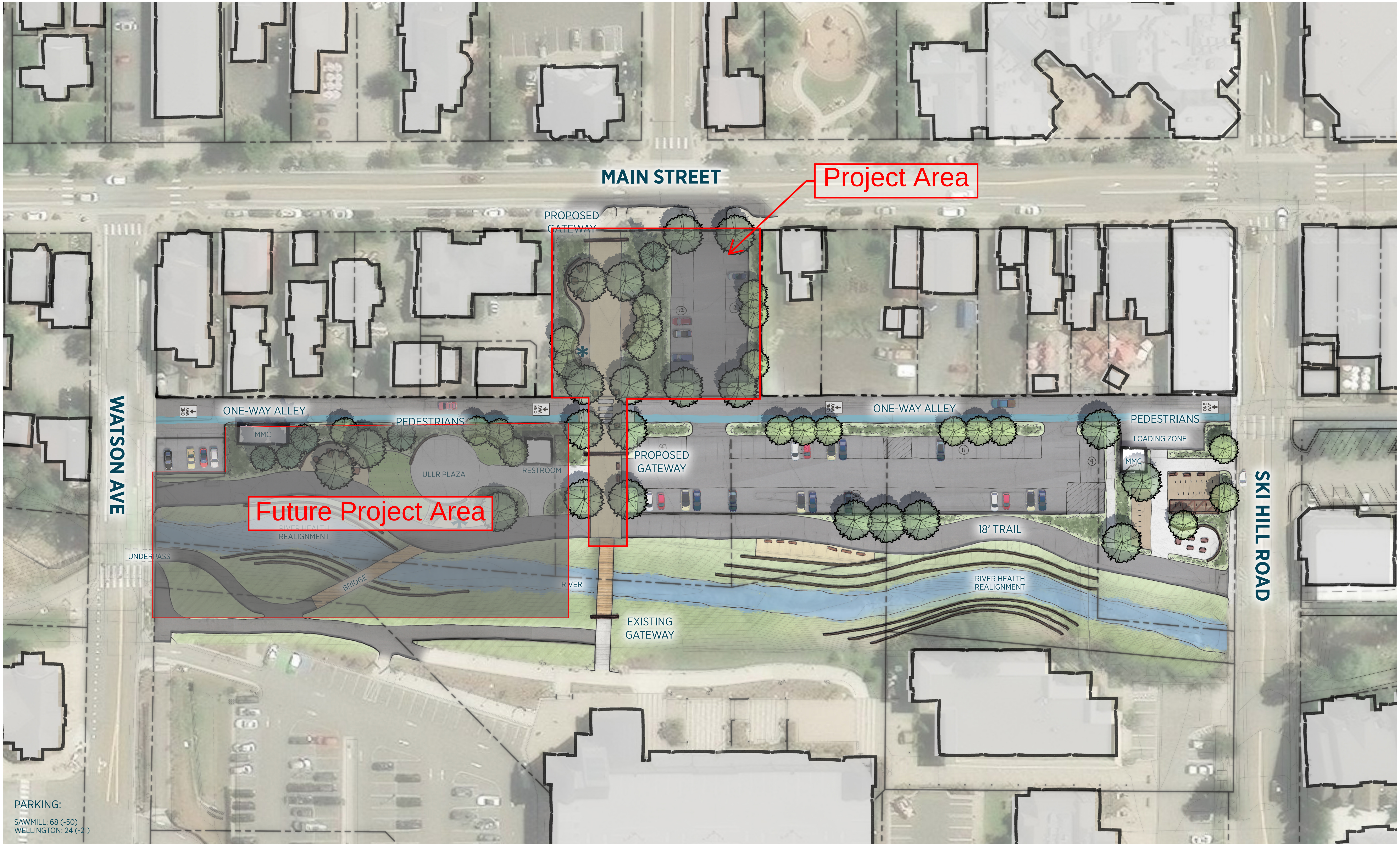
Sawmill Pedestrian Connection

The Blue River Pathways project seeks to revitalize the Blue River corridor and downtown alleys between N. French Street and S. Park Avenue by improving safety, bicycle and pedestrian connectivity, placemaking and river health alongside providing strong community engagement on the project.

The Sawmill Pedestrian Lot project is primarily a pedestrian connectivity and safety project that constructs a formalized pathway from the existing pedestrian bridge near the S. Gondola Parking Structure through the Sawmill and Wellington Parking Lots to N. Main Street. This corridor is an important connection between our parking reservoirs and downtown and currently sees high levels of pedestrians throughout the year with numbers increasing in the summer months. Low-cost, temporary improvements were installed in 2022 as part of the ongoing Living Lab project for the Blue River Pathways. Crosswalk striping was added and painted barricades have been utilized to direct pedestrians along the east/west corridor (see aerial) to N. Main Street. The temporary improvements were proof of concept for this enhanced connectivity project.

The proposed work includes a new 23-foot wide sidewalk, crosswalk and ADA ramp enhancements, pedestrian light fixtures, drainage improvements, and new landscaping. Wayfinding signage will be constructed as a separate project.





PARKING:
SAWMILL: 68 (-50)
WELLINGTON: 24 (-21)

BRECKENRIDGE BLUE RIVER PATHWAYS | GOLD PAN ALLEY CONCEPTS - OPTION 2

APRIL 2024